

AGENDA

- A. Call to Order**
- B. Approval of Agenda**
Any additions, deletions, modifications to the agenda will be done at this time.
- C. Consider Approval of Minutes**
 - a. Consider Approval of Parks and Planning Minutes from the meeting on July 9, 2025.
- D. Presentations, Public Hearings & Related Approvals**
 - a. Public Hearing for PUD & Preliminary Plat for Lake Golf Estates.
 - b. Public Hearing for CUP Amendment for Reeds & Rushes Event Center.
- E. New Business**
 - a. Consider Approval of PUD & Preliminary Plat for Lake Golf Estates.
 - b. Consider CUP Amendment for Reeds & Rushes Event Center
 - c. Update: Cannabis Retail Facility
- F. Old Business**
- G. Adjourn**

The will adjourn to a Workshop following the regular meeting.



CITY OF HOWARD LAKE

625 8TH Avenue - PO Box 736 - Howard Lake, MN 55349
Phone: 320-543-3670 | cityadmin@howard-lake.mn.us | www.howard-lake.mn.us

HOWARD LAKE PARKS AND PLANNING COMMISSION

Howard Lake City Hall
817 8th Ave
July 9, 2025 – 6:00 pm

MEETING MINUTES

MEMBERS PRESENT

April Debner
Molly Hibbard
Jason Deiter
Barb Guenigsman
Neil Weber

MEMEBERS ABSENT

Gene Gilbert
Vern Kleve

OTHERS PRESENT

Meagan Theisen, Assistant City Administrator
Nate Sparks, City Planner

A. CALL TO ORDER

Chair Debner called the meeting to order at 6:00 pm.

B. APPROVAL OF AGENDA

The agenda was approved as presented. Commissioner Hibbard moved to approve the agenda. The motion was seconded by Commissioner Guenigsman and passed unanimously.

C. APPROVAL OF MEETING MINUTES

Commissioner Hibbard moved to approve the Minutes from the Parks and Planning Meeting on May 14, 2025. The motion was seconded by Commissioner Guenigsman and passed unanimously.

D. PRESENTATIONS, PUBLIC HEARINGS & RELATED APPROVALS

a. Public Hearing for Short Term Rental Application at 5800 County Road 7.

Chair Debner closed the regular meeting and opened the public hearing at 6:03 pm.

Sparks reviewed the staff report, highlighting parking regulations, use of property and other concerns people typically have for short-term rentals.

The applicant and Parks and Planning Commission Member Hibbard fielded various questions from the Commissioners and residents.

Chair Debner closed the public hearing and reopened the regular meeting at 6:29 pm.

Commissioner Guenigsman moved to approve the short-term rental application at 5800 County Road 7. The motion was seconded by Commissioner Weber and passed unanimously. Commissioner Hibbard abstained from the vote.

b. Public Hearing Amending the Standards for Signs in the B-1 District.

Chair Debner closed the regular meeting and opened the public hearing at 6:32 pm.

Sparks reviewed the staff report and provided information on what has been done historically regarding signs in this district.

Chair Debner closed the public hearing and reopened the regular meeting at 7:08 pm.

Commissioner Weber moved to amend the standards for signs in the B-1 district and to set the sign size to 125 sq. feet. The motion was seconded by commissioner Hibbard and passed unanimously.

E. OLD BUSINESS

None

F. ADJOURN

Commissioner Guenigsman moved to adjourn The Parks and Planning Commission meeting at 7:17 pm. The motion was seconded by Commissioner Hibbard and passed unanimously.

Chair, April Debner

Secretary, Meagan Theisen

PUBLIC HEARING NOTICE

NOTICE IS HEREBY GIVEN that the City of Howard Lake Planning Commission will be holding a public hearing on September 10, 2025 at 6:00 pm. The public hearing will be conducted at the Howard Lake Library at 817 8th Avenue in Howard Lake.

The purpose of the public hearing is to consider a planned unit development and preliminary plat south of Ingram Avenue South and at the northern terminus of Fairway Boulevard. The proposal is to place 25 single family lots on the 8 acre property which is Outlot C of Lake Golf Estates. The planned unit development will allow for reduced lot widths.

All interested parties are encouraged to attend the public hearing. Additional information regarding the hearing may be obtained by contacting the City of Howard Lake at 625 8th Avenue, Howard Lake, MN 55349 or (320) 543-3670.



AUGUST 15, 2025

A background image of a modern kitchen and dining area. The kitchen features white cabinetry, a stainless steel refrigerator, and a white countertop island with a wooden base. The dining area has a wooden table and white chairs. The lighting is warm and modern, with pendant lights hanging over the island and a chandelier in the dining area.

LAKE GOLF ESTATES

of Howard Lake

PRELIMINARY PLAT + PUD

Westwood

WHO WE ARE

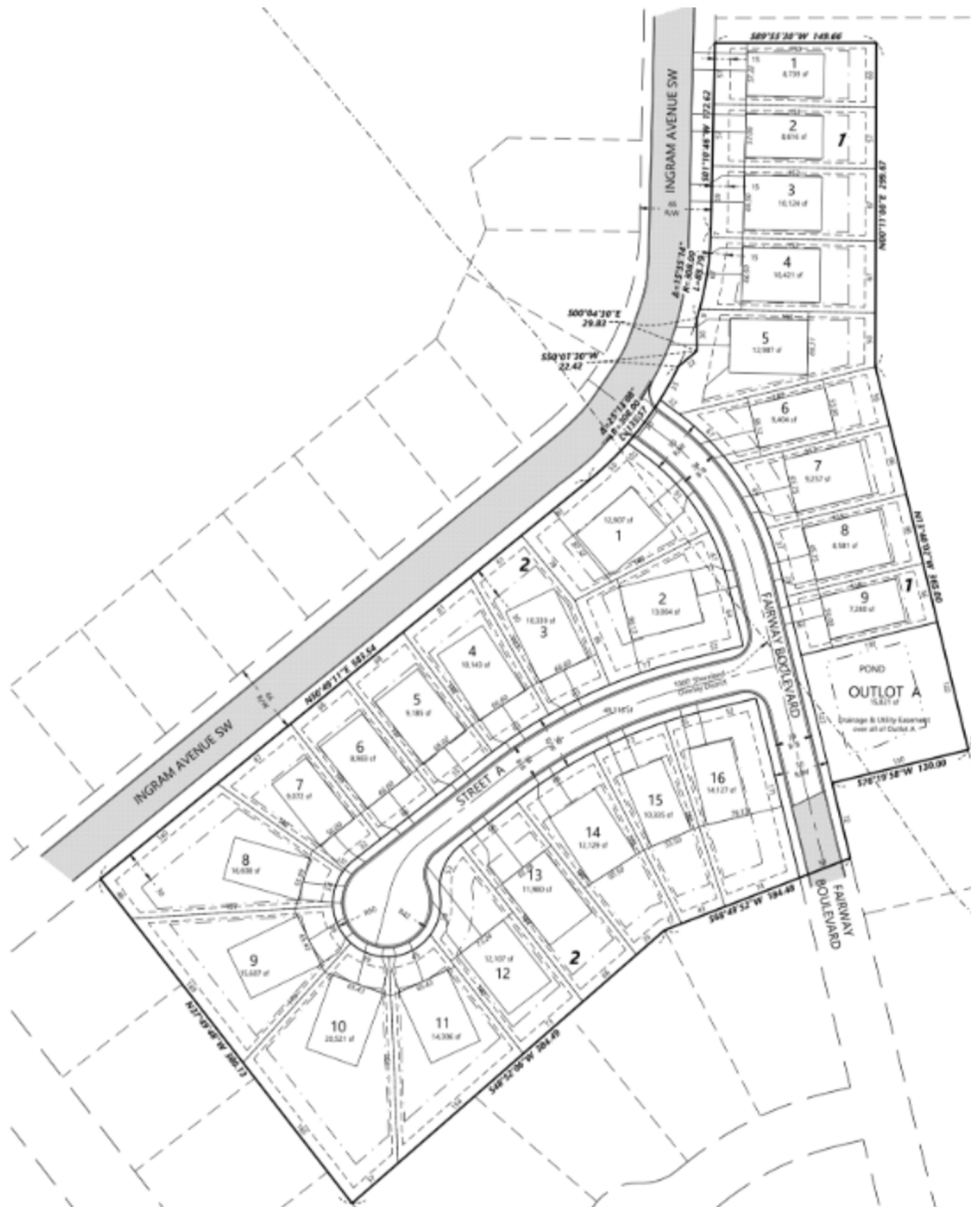


JPB Land, LLC | JP Brooks Builders is a local developer and homebuilder based in Maple Grove, MN. All decisions are made locally ensuring a consistent and unified community vision from start to finish.

THE MISSION IS SIMPLE:
TO BUILD HIGH QUALITY, WELL DESIGNED HOMES THAT REFLECT THE LIFESTYLE AND DREAMS OF OUR HOMEOWNERS

- JP Brooks has been in business since 2013 and has constructed over **1,000 homes** in **45+ communities**
- Currently building **19 neighborhoods** in **16 jurisdictions** within the metro
- Average number of home closings 2023-2024 = **155 homes** annually
- Ranked as a Top 25 Builder in the Twin Cities market, 5 years running
- Minnesota Green Path Certified Builder





ACREAGE & DENSITY

Gross Site Area: 8.1 acres
 Public ROW: 1.1 acres
 Net Developable Area: 7.0 acres

Total Lots: 25

55' single family: 8 lots
 65' single family: 17 lots

Gross Density: 3.9 units/acre

LOT SIZES & SETBACKS

Area

55' lots average 10,523 square feet
 65' lots average 11,917 square feet

Setbacks

Front, rear and corner side yard: 30 feet
 Side yard: 7.5 feet

1. Orderly Growth

- The property is located inside city limits and within an existing neighborhood, east of Howard Lake and Imhoff Avenue and West of former Howard Lake Greens Golf Course
- Municipal utilities are available to service the property
- Proposed development connects existing roadways (Fairway Boulevard to Ingram Ave SW)
- Designed to be compatible with the surrounding neighborhood.

2. Housing Diversity

- Two (2) lot sizes are proposed to accommodate a variety of house types including slab-on-grade villas, ramblers, split-entry, and two-story homes to serve multiple demographics of homeowners including first-time homebuyers, move-up buyers, and those that are ready to downsize.
- Floorplans range from 1,355 square feet to 3,082 square feet, with 2-3 garage stalls, 2-5 bedrooms, and 2-4 bathrooms.

3. Affordability

- All homes will initially be sold to households earning 115% of the area median income (AMI) or less, pursuant to the terms of the TIF (Tax Increment Financing) agreement between the City and Developer. The Wright County AMI is \$122,665 according to current data (2023).

HOUSE PRODUCT SUMMARY



Lot Type	House Type	House Plan	Bedrooms	Bathrooms	Garage Stalls	Sq. Ft.
55' Lots 40' Pad	Villa	Augusta	2	2	2	1355-1499
		Madison	3			1596-1740
		Lakewood	3			1794-1830
		Waterford	3			1948-2068
	Two Story	Hillcrest	3-4	3-4	3	1801-2570
		Stonybrook	4-5			2040-2840
Silvercreek		4-5	2285-3053			
65' Lots 50' Pad	Villa	Augusta	2	2	3	1355-1496
		Madison	3			1596-1740
		Lakewood	2-3			1794-1830
		Waterford	2-3			1948-2068
	Split-Entry	Oak Ridge	2-4	2-3	3	1355-2534
		Washington	3-5			1596-2919
		Weston	2-5			1846-3025
	Rambler	Augusta	2-4	2-3	3	1355-2534
		Madison	3-5			1596-2919
		Somerset	2-5			1846-3025
Two Story	Brookview	4-5	3-4	3	2295-3082	

Lot Totals:

65' lots: 17 total

55' lots: 8 total

ARCHITECTURAL DISTINCTIONS



- Front porches with (SmartSide) LP pillars
- Stone base pillar upgrades
- Varying heights and quantities for stone
- Built out gables
- Coach lamps at garage door
- LP SmartSide window wrapping
- Transom or sidelight windows at front entry door
- Different siding options in gables (Board and Batten, Shakes, Built Outs, Dentils, Brackets)
- Standard garage door is an upgraded short raised panel garage door with grooves. Also allows for windows to be added. Multiple colors available, including wood grain to provide higher quality look
- Stone address plaque upgrade option
- All homes are Minnesota Green Path certified
- Included front door is an upgraded fiberglass door with a wide array of color options and wood grain options. (Most builders don't do the wood grain because of the cost, we include standard due to positive feedback from customers.)
- Full time designer on staff with over 25 years of experience planning out exterior packages for large, quality communities
- In house design studio where customers can choose their selections
- We are intentional with a self imposed anti-monotony code about not allowing the same elevation or color palette next door, on either side, or directly across the street

Many of these distinctions can be found when viewing the floor plan elevations and 3-D tours on our website at JPBrooks.com. The Planning Commission, City Council, and staff are welcome to tour any of our model homes throughout the metro - see JPBrooks.com for community locations.

55' LOTS - 40' HOUSE PAD - 7.5' SIDE YARDS

65' LOTS - 50' HOUSE PAD - 7.5' SIDE YARDS

The Augusta

VILLA & RAMBLER EXAMPLES



OVERVIEW

Bedrooms:

2 - 4

Bathrooms:

2 - 3

Garage Stalls:

2 - 3

Square Feet:

1,355 - 2,534



55' LOTS - 40' HOUSE PAD - 7.5' SIDE YARDS

65' LOTS - 50' HOUSE PAD - 7.5' SIDE YARDS

The Madison

VILLA AND RAMBLER EXAMPLES

JP Brooks
BUILDERS



OVERVIEW

Bedrooms:

3 - 5

Bathrooms:

2 - 3

Garage Stalls:

2 - 3

Square Feet:

1,596 - 2,919



55' LOTS - 40' HOUSE PAD - 7.5' SIDE YARDS

65' LOTS - 50' HOUSE PAD - 7.5' SIDE YARDS

The Lakewood

SAMPLE VILLA FLOOR PLAN

JP Brooks
BUILDERS



OVERVIEW

Bedrooms:

3

Bathrooms:

2

Garage Stalls:

2 - 3

Square Feet:

1,794 - 1,830



55' LOTS - 40' HOUSE PAD - 7.5' SIDE YARDS

65' LOTS - 50' HOUSE PAD - 7.5' SIDE YARDS

The Waterford

SAMPLE VILLA FLOOR PLAN

JP Brooks
BUILDERS



OVERVIEW

Bedrooms:

3

Bathrooms:

2

Garage Stalls:

2 - 3

Square Feet:

1,948 - 2,068



The Hillcrest

SAMPLE TWO STORY FLOOR PLAN



OVERVIEW

Bedrooms:

3 - 4

Bathrooms:

3 - 4

Garage Stalls:

3

Square Feet:

1,801 - 2,570



The Oak Ridge

SAMPLE SPLIT LEVEL FLOOR PLAN



OVERVIEW

Bedrooms:

2 - 4

Bathrooms:

2 - 3

Garage Stalls:

3

Square Feet:

1,138 - 1,994



The Washington

SAMPLE SPLIT LEVEL FLOOR PLAN



OVERVIEW

Bedrooms:

3 - 5

Bathrooms:

2 - 3

Garage Stalls:

3

Square Feet:

1,596-2,919



The Weston

SAMPLE SPLIT LEVEL FLOOR PLAN



OVERVIEW

Bedrooms:

3 - 5

Bathrooms:

2 - 3

Garage Stalls:

3

Square Feet:

1,440 - 2,251



The Somerset

SAMPLE RAMBLER FLOOR PLAN



OVERVIEW

Bedrooms:

2 - 5

Bathrooms:

2 - 3

Garage Stalls:

3

Square Feet:

1,846 - 3,025



The Brookview

SAMPLE TWO STORY FLOOR PLAN



OVERVIEW

Bedrooms:

4 - 5

Bathrooms:

3 - 4

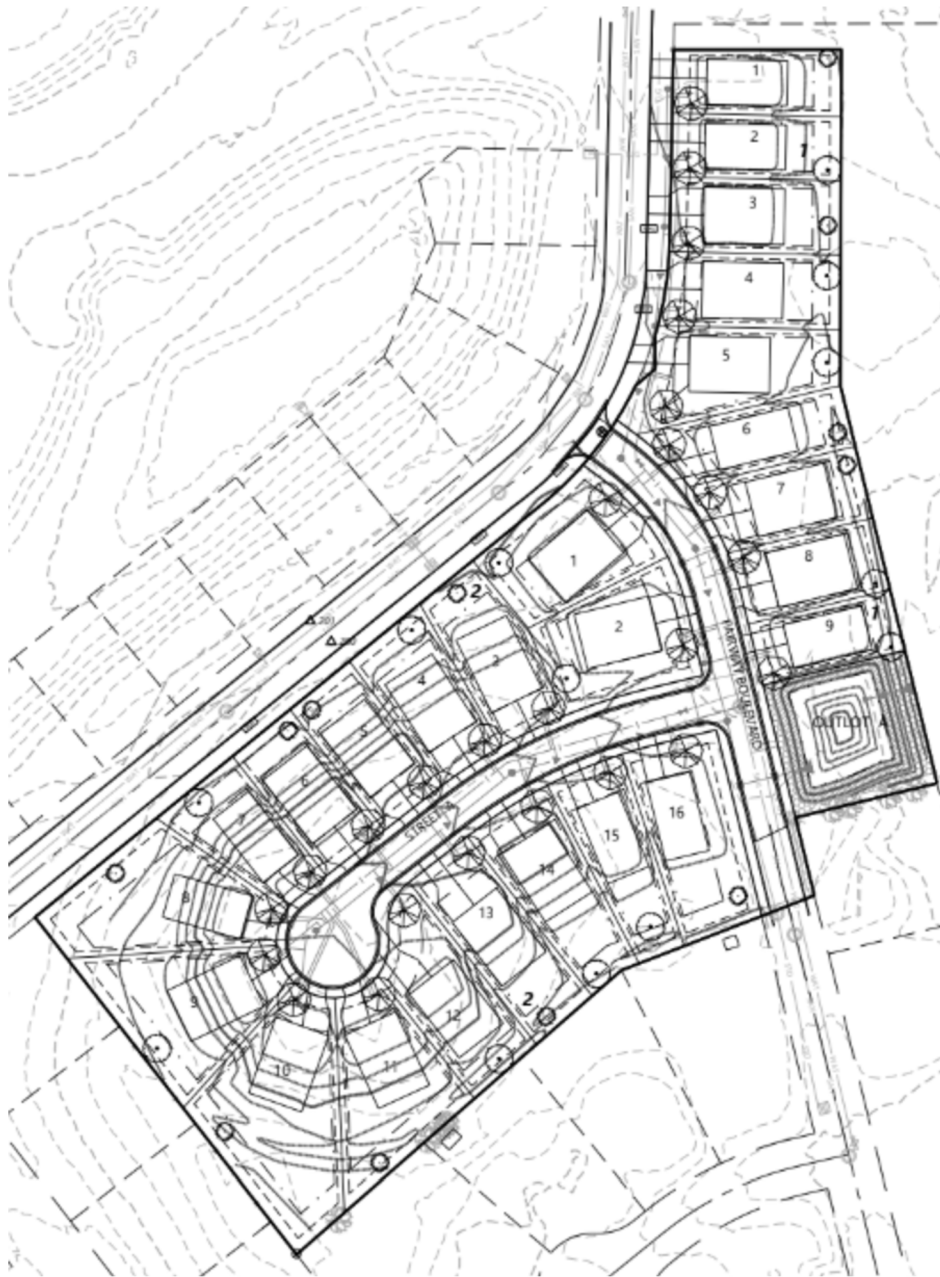
Garage Stalls:

3

Square Feet:

2,295 - 3,082





SHADE TREES

Two (2) trees per lot

- (1) in front yard - Deciduous
- (1) in rear yard - every other is Coniferous

All tree species selected are hearty to the area. A full species list is provided on Sheet 13.

GROUND COVER

Our practice is to sod each lot, plant a minimum of 3 to 5 shrubs, and install irrigation to guarantee survival.

THANK YOU FOR YOUR CONSIDERATION



JPB Land's vision for Lake Golf Estates is to build a neighborhood within an existing neighborhood, which is both compatible with the existing development and enhancing to the area. The house plans have been selected with the goal of providing residents with a variety of options to suit their needs.

The Lake Golf Estates Planned Unit Development

- establishes standards of excellence in design and architecture, and
- accommodates market trends and consumer preferences.

We look forward to working with the City to provide wonderful homesites for Howard Lake residents for years to come.

We appreciate your support!



DEVELOPER / BUILDER

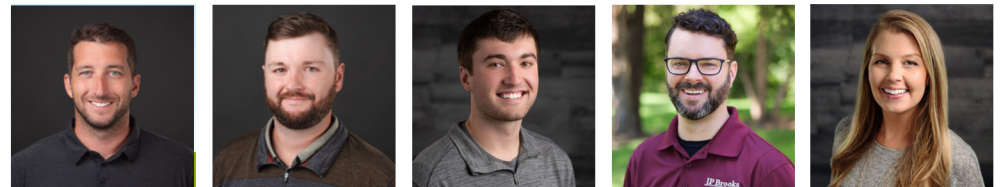
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Art Plante

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ENGINEERING / SURVEYING CONSULTANT

Westwood Professional Services

12701 Whitewater Drive, Suite 300
Minnetonka, MN 55343

Christian Froemke (952) 906-7427
www.westwoodps.com



PUBLIC HEARING NOTICE

NOTICE IS HEREBY GIVEN that the City of Howard Lake Planning Commission will be holding a public hearing on September 10, 2025 at 6:00 pm. The public hearing will be conducted at the Howard Lake Library at 817 8th Avenue in Howard Lake.

The purpose of the public hearing is to consider a conditional use permit amendment at 800 5th Avenue S to allow for site and operating plan modifications to a banquet hall related to hours of operation and the addition of indoor commercial recreation.

All interested parties are encouraged to attend the public hearing. Additional information regarding the hearing may be obtained by contacting the City of Howard Lake at 625 8th Avenue, Howard Lake, MN 55349 or (320) 543-3670.



HOWARD LAKE PARKS & PLANNING MEETING

SEPTEMBER 15, 2025

AGENDA ITEM: Lake Golf Third Addition Preliminary Plat & Planned Unit Development

SECTION: Public Hearing

FROM: Nate Sparks, City Planner

BACKGROUND

JPB Land LLC has made an application for a preliminary plat and planned unit development for Lake Golf Estates Third Addition. Lake Golf III was preliminary platted in the past as a single family neighborhood. The preliminary plat approval is expired and the applicant is seeking to obtain a approval of a slightly revised preliminary plat to place 25 single family lots on the property. The site is 8 acres in size. The project will also have a planned unit development zoning overlay to allow for a mix of single family housing types.

COMPREHENSIVE PLAN

The Comprehensive Plan is the ultimate guide of what property can be utilized for in the City. The City's Comprehensive Plan (Land Use Plan) guides the subject site for a Low Density Residential Land Use. This designation governs the intensity of use allowed for the property, based on the context of the site. This allows for single family residential land uses up to four units per acre. At 8 acres, the site could have up to 32 units. The development proposed is 25 units at 3.1 units per acre. The Comprehensive Plan ensures that the site can handle this intensity of use, based on traffic volumes and utility service provision.

ZONING ORDINANCE

The property is zoned R-1A, Contemporary Existing Lot Single Family Residential District. which is a single family zoning designation. This District requires lots to be 85 feet wide, 125 feet deep, and 10,500 square feet in area. Setbacks are required at 30 front, 10 side, 30 corner, and 25 rear. The maximum impervious surface is 35%.

The property is also partially in the Shoreland District. The Shoreland District requires lots to be 10,000 square feet in area and has a maximum impervious surface of 25%.

Planned Unit Development. When meeting the density requirements of the Comprehensive Plan, the City may consider alternative zoning standards, known as a planned unit development (PUD). The standards can allow for flexibility in width and area for lots but cannot allow for more lots to be placed on the property than what would otherwise be allowed in the Comprehensive Plan. The City can approve a PUD when the proposal is found to be providing a more efficient subdivision design, allowing for the City to meet policy goals, and other such objectives.

With this proposal, the Applicant is seeking flexibility in the required lot width to allow for a mix of 55 (8 lots) and 65 (17 lots) foot wide lots. The depth of the lots would be increased from the minimum standards to 130 feet, however the lot depth is already set by the previous development plan approved for the site. The side yard setbacks are proposed to be reduced from 10 feet to 7.5 feet.

The flexibilities are in exchange for exceeding lot depth, exceeding minimum landscaping requirement, exceeding housing façade standards, and then also modifying the original approved plan to include stormwater management.

ANALYSIS

Road Configuration. The proposed plan extends Fairway Boulevard to Ingram Avenue, which was from the original development plan.

Right-of-Way Dedication. The road rights-of-way in this area are 50 feet wide.

Street Design. The streets will need to meet the requirements of the City Engineer.

Sidewalks. There are no sidewalks in this area of the City and there would be no place for sidewalks to connect.

Park Dedication. With any subdivision, the City requires park dedication. The City may require parks or trails to be built. In this case, the City's Park Plan does not identify any park needs within the area. Therefore, cash-in-lieu of parkland dedication would be adequate. Based on the estimated value of the land, the 10% cash-in-lieu fee would be about \$18,500. The original preliminary plat was covered by the park dedication of the original subdivision. Therefore, proration of the park dedication amount would result in \$5,180 of park fee remaining to be paid.

Landscaping. The applicant has provided a landscaping plan that meets the minimum requirements of the City by including more plantings than required by code. This includes two trees planted on each lot.

Architecture. The applicant has provided housing examples. The housing examples show a variety of housing types. The houses range in size from 1,355 square feet to 3,082 square feet and 2-5 bedrooms. There are models with 2 and 3 stall garages. The applicant depicts house styles that all have architectural

Grading, Drainage, and Utilities. Issues related to grading, drainage, and utilities, including the establishment of easements, is subject to comment and recommendation by the City Engineer. The City Engineer reviews grading and utility plans against the City's engineering and design standards and requires general plan revisions to meet these standards.

As mentioned previously, the Applicant is providing a stormwater management pond. The original plan had ponding within the open space (former golf course). Therefore, the addition of this pond is in excess of the original development plan's requirements and offsets the increase in impervious surfaces.

The City Engineer may require adjustments to the grading plan for the site to adequately meet the City's standards.

PLANNING COMMISSION REVIEW

The Planning Commission is tasked with reviewing the plans, taking public comment, and making a recommendation to the City Council on the project.

The application is technically two considerations, the Planned Unit Development and the Preliminary Plat.

The Planned Unit Development requires consideration based on being consistent with the purpose of a PUD:

- A. Provide for the establishment of PUD (planned unit development) zoning districts in appropriate settings and situations to create or maintain a development pattern that complies with the City's Comprehensive Plan.
- B. Allow for the mixing of land uses within a development when such mixing of land uses could not otherwise be accomplished under this Article.
- C. Provide for variations to the strict application of the land use regulations in this Article in order to improve site design and operation, while at the same time incorporating design elements (e.g., construction materials, landscaping, lighting, etc.) that exceed the City's standards to offset the effect of any variations.
- D. Promote a more creative and efficient approach to land use within the City, while at the same time protecting and promoting the health, safety, comfort, aesthetics, economic viability, and general welfare of the City.
- E. Preserve and enhance natural features and open spaces.
- F. Maintain or improve the efficiency of public streets and utilities.
- G. Ensure the establishment of appropriate transitions between differing land uses.

The objective is to determine if the PUD generally meets one or more of the purpose statements above. The plan includes an additional stormwater management feature than the original development plan and the proposed housing have stone veneer and architectural features that exceed the minimum requirements of the City's ordinance. It is also consistent with the Comprehensive Plan, as it has only single family dwellings and is under the required 4 units per acre.

The Preliminary Plat has its own set of review criteria found in 17.05-05-01. The Planning Commission may recommend denial and the Council may deny the subdivision if it makes any one or more of the following findings:

- A. That the proposed subdivision is in direct conflict with adopted applicable general and specific comprehensive plans of the City, County, or Region;
- B. That the physical characteristics of this site, including but not limited to topography, percolation rate, soil conditions, susceptibility to erosion and siltation, susceptibility to flooding, water storage, drainage and retention, are such that the

- site is not suitable for the type of development, development density, design, or use contemplated;
- C. That the design of the subdivision or the proposed improvements are likely to cause substantial environmental damage;
 - D. That the design of the subdivision or the type of improvements are likely to cause serious public health problems;
 - E. That the design of the subdivision or the type of improvements will conflict with easements of record or with easements established by judgment of a court;
 - F. That the proposed subdivision is inconsistent with the policies and standards of the State defined Shoreland Districts and Wetland Districts.
 - G. That the proposed subdivision adversely affects the flood-carrying capacity of the floodway, increases flood stages and velocities, or increases flood hazards within the City.
 - H. That any lot or block in the proposed subdivision is exceptionally narrow or shallow, or is otherwise of any irregular or unusual shape.
 - I. That the subdivision is deemed premature by the conditions outlined in Section 05-04-2 of this Ordinance (lack of adequate utilities or roads to serve the site).
 - J. That the subdivision is inconsistent with the provisions of this Ordinance.

None of the above conditions are present provided the applicant meets all the requirements of the City Engineer. (Attached)

Financial: The Developer is responsible for paying all relevant entitlement fees as shown below:

City of Howard Lake Entitlement Fees				
Description	Unit	Sub	Escrow	TOTAL
TIF Creation	\$6,500			
Assessment Valuation	\$1,000			
PUD Establishment	\$300		\$1,000	
Final Plan	\$300		\$1,000	
Preliminary Plat	\$670		\$1,000	
Final Plat	\$670		\$1,000	
Mylar Creation	\$2,000			
Park Dedication	TBD			
Sanitary Sewer Trunk	\$4,082	\$32,982		
Water Area Main Fee	\$2,711	\$21,904		
LEAF Fees	Billed Monthly			
	\$500	\$4,044		
	\$18,733	\$58,930	\$4,000	\$81,663

LEGAL:

- 1. **Development Agreement:** As a condition of final plat approval, the applicant will be required to enter into a development agreement with the City and post all the necessary securities required by it. This will ensure that all development construction is done in the manner required by the City. If not, the securities collected will allow for the City to make the necessary adjustments to the site. This document is being drafted by the City Attorney.
- 2. **Public Hearing:** Individual property mailings of this public hearing were sent to property owners within 300' of the property. However, notice was not properly published in the Herald Journal. The guidance of the city attorney, comment will be received at this meeting as well as a subsequent city council meeting that has been duly published in the newspaper.

STRATEGIC PLAN:

- Develop a Livable Community for All → Foster opportunities that provide for diverse housing stock.

STAFF RECOMMENDATION

Based on the above review, the plan generally meets City requirements. Staff would recommend that the Planning Commission recommend approval of the plan with the following conditions:

- 1. The applicant shall meet all requirements of the City Engineer.
- 2. The applicant shall enter into a development agreement, as drafted by the City Attorney.
- 3. Park dedication shall be provided.

4. Houses shall be generally consistent with the plans provided (include the stone veneer).

The Planning Commission may wish to make a motion similar to the following:

“Move to approve the PUD based on being consistent with the purpose statement of the PUD Ordinance and the Preliminary Plat based on the criteria found 17.05-05-01.”

ATTACHMENTS:

1. Applicant’s Narrative
2. City Engineer’s Comments
3. Preliminary Plat Plan Set

LAKE GOLF ESTATES 3RD ADDITION

FOR
**PRELIMINARY GRADING, EROSION
 CONTROL, SANITARY SEWER, WATERMAIN,
 STORM SEWER AND STREETS**



Vicinity Map
 (NOT TO SCALE)

FOR
LAKE GOLF ESTATES 3RD ADDITION

HOWARD LAKE, MN

PREPARED FOR:

JPB LAND, LLC.

13700 REIMER DRIVE N., SUITE 100

MAPLE GROVE, MN 55311

CONTACT: PAUL TABONE

PHONE: 763-285-4796

EMAIL: PAUL@JPBROOKS.COM

PREPARED BY:

Westwood

Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
 Toll Free (888) 937-5150 Minnetonka MN, 55343
 westwoodps.com

Westwood Professional Services, Inc.

PROJECT NUMBER: 0060326.00

CONTACT: CHRISTIAN FROEMKE

SHEET INDEX

SHEET NUMBER	SHEET TITLE
1	Cover
2	Existing Conditions & Removals Plan
3	Preliminary Plat
4	Preliminary Grading & Erosion Control Plan
5	Preliminary Sanitary Sewer & Water Main Plan
6	Preliminary Storm Sewer & Street Plan
7	Street Profiles
8	Details
9	Details
10	Details
11	Details
12	Details
13	Overall Preliminary Landscape Plan
14	Preliminary Landscape Plan & Notes
15	Preliminary Landscape Plan & Details

NO.	DATE	REVISION	SHEETS

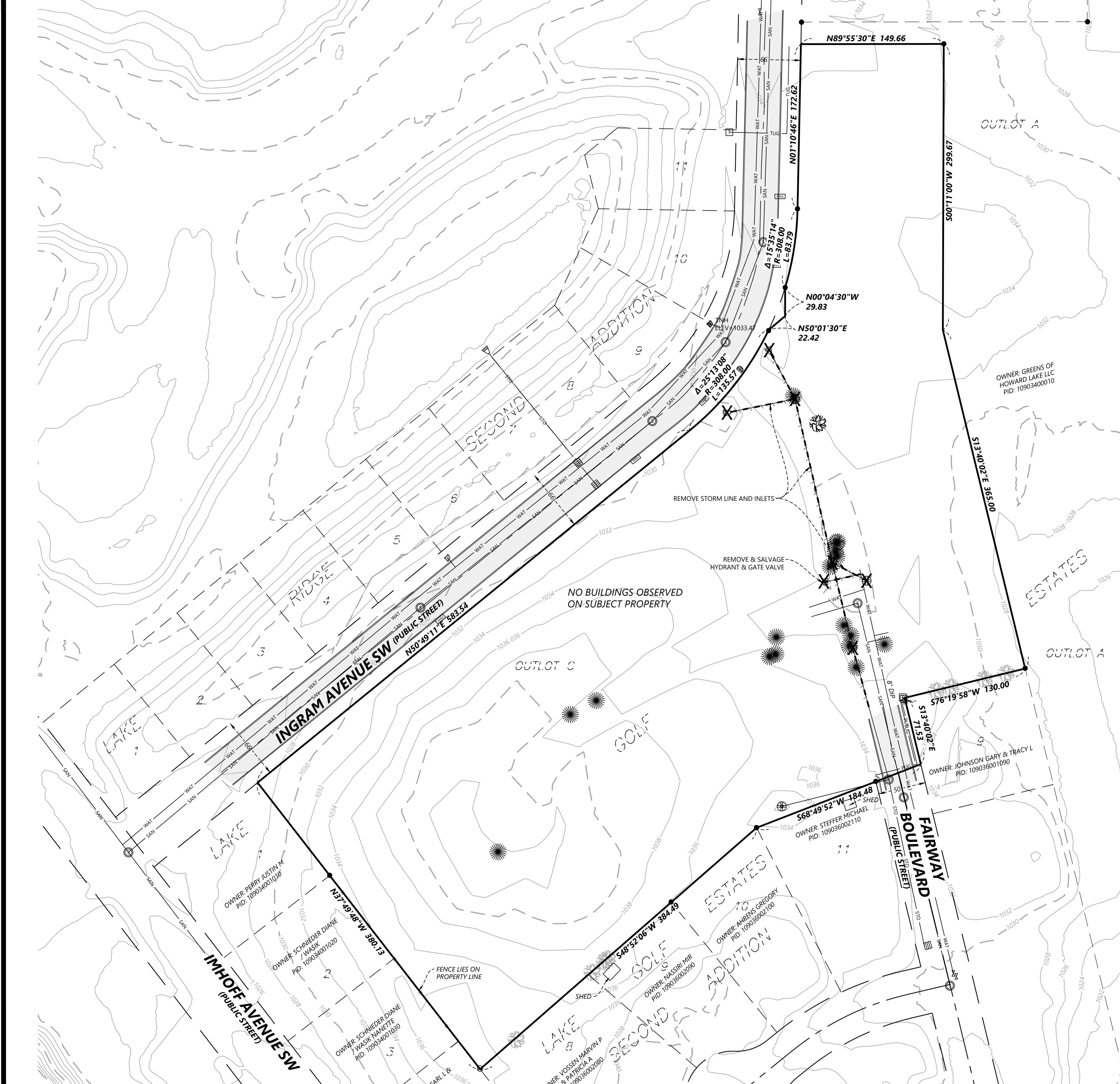
PRELIMINARY PLANS

FOR
 PRELIMINARY GRADING, EROSION CONTROL,
 SANITARY SEWER, WATERMAIN, STORM
 SEWER AND STREETS

FOR
 LAKE GOLF ESTATES 3RD ADDITION

HOWARD LAKE, MN

INITIAL SUBMITTAL DATE: 08/11/25 SHEET: 1 OF 15



LEGAL DESCRIPTION

The following information was provided in Fidelity National Title Insurance Company File Number FN6825-1 which has an effective date of May 5, 2025.

Outlot C, Lake Golf Estates
Wright County, Minnesota
Abstract Property

GENERAL NOTES

- Bearings of property lines shown hereon are based on the Wright County coordinate system, (NAD 83 - 2011 Control Adjustment).
- Lengths of lines and distances between features are measured in US-Survey Feet.

REMOVAL LEGEND

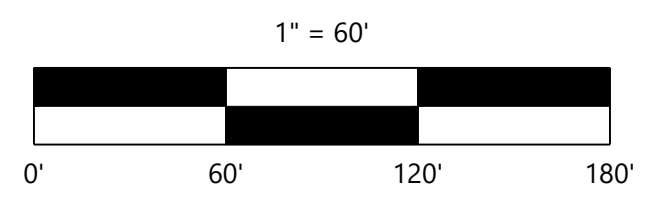
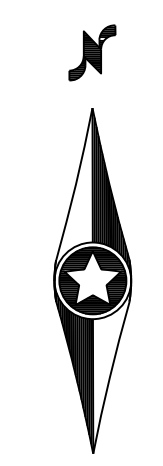
EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	SAW CUT PAVEMENT
EXISTING	REMOVALS	
SAN	---	CURB & GUTTER
WAT	---	SANITARY SEWER
WAT	---	WATER MAIN
STO	---	HYDRANT
GAS	---	STORM SEWER
PUG	---	GAS
PEH	---	UNDERGROUND ELECTRIC
TUG	---	OVERHEAD ELECTRIC
TOH	---	UNDERGROUND TELEPHONE
FO	---	OVERHEAD TELEPHONE
CTV	---	TELEPHONE FIBER OPTIC
X	---	CABLE TELEVISION
	---	RETAINING WALL
	---	FENCE
	---	CONCRETE
	---	BITUMINOUS
	---	BUILDING
	---	TREE
	---	LIGHT POLE
	---	TRAFFIC SIGN

REMOVAL NOTES

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTOR SHALL COORDINATE LIMITS OF REMOVALS WITH PROPOSED IMPROVEMENTS AND FIELD VERIFY CONDITION OF EXISTING APPURTENANCES TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING OR REPLACING MISCELLANEOUS ITEMS (SUCH AS FENCES, SIGNS, IRRIGATION HEADS, ETC.) THAT MAY BE DAMAGED BY CONSTRUCTION.
- CONTRACTOR SHALL PLACE ALL NECESSARY EROSION CONTROL MEASURES REQUIRED TO MAINTAIN SITE STABILITY PRIOR TO EXECUTING ANY SITE REMOVALS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH UTILITY PROVIDERS FOR REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES AFFECTED BY SITE DEVELOPMENT. ALL PERMITS, APPLICATIONS AND FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.

LEGEND

●	FOUND MONUMENT (SEE LABEL)	+	SIGN
○	SET MONUMENT (SEE LABEL)	☐	MAIL BOX
⊙	SANITARY MANHOLE	☀	CONIFEROUS TREE
⊕	STORM MANHOLE	☀	DECIDUOUS TREE
⊕	BEEHIVE CATCH BASIN	---	PUG
⊕	CATCH BASIN	---	SAN
⊕	FLARED END SECTION	---	STO
⊕	HYDRANT	---	TUG
⊕	GATE VALVE	---	WAT
⊕	LIGHT POLE	---	X
⊕	TELEPHONE BOX	---	---
⊕	STEEL/WOOD POST	---	---



NOT FOR CONSTRUCTION

DESIGNED:	
CHECKED:	
DRAWN:	
HORIZONTAL SCALE:	60'
VERTICAL SCALE:	12' OR 6'

INITIAL ISSUE:	08/11/25
REVISIONS:	
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PREPARED FOR:
JPB LAND, LLC.
13700 REIMER DRIVE N., SUITE 100
MAPLE GROVE, MN 55311

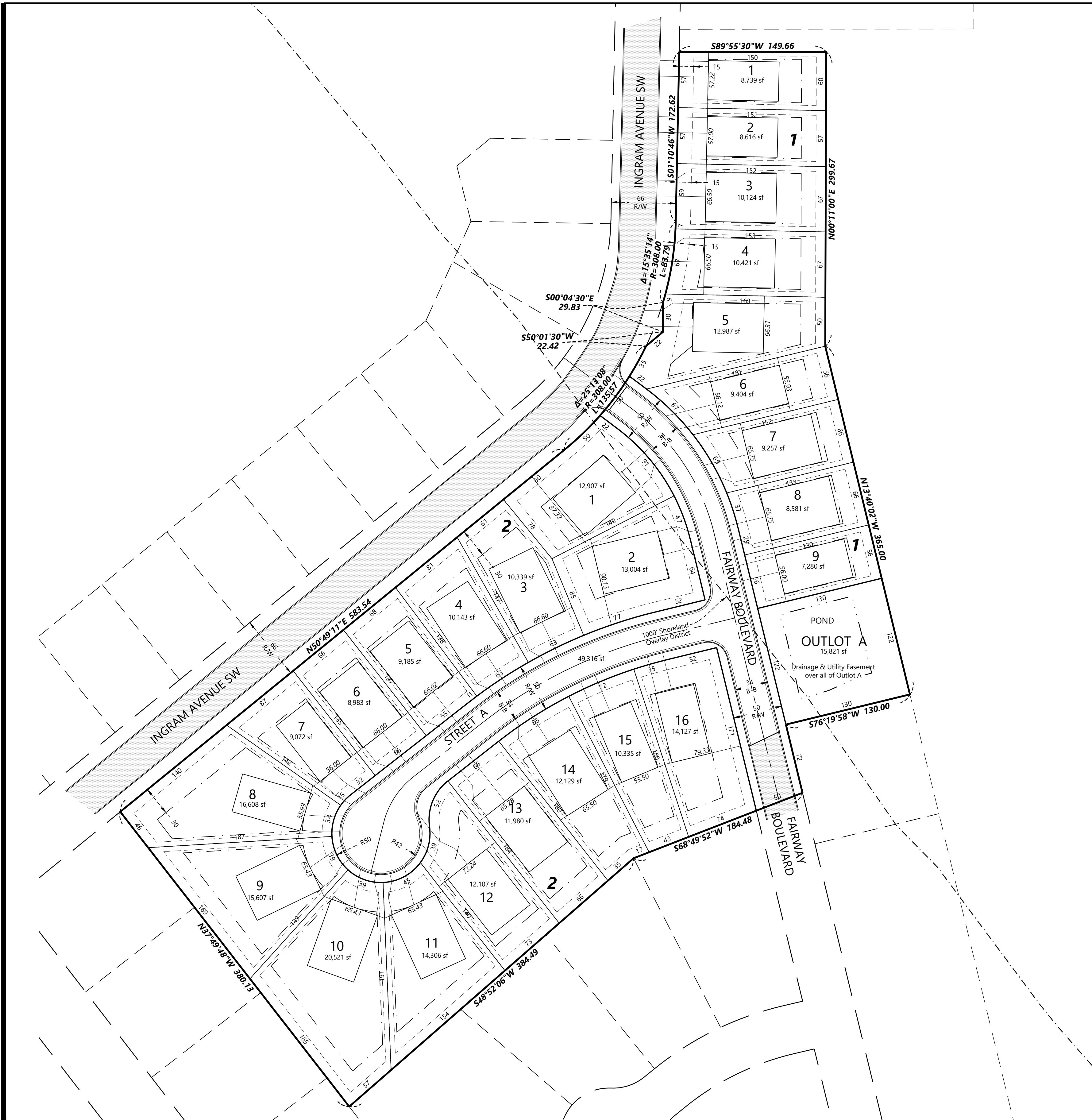
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA
DATE: _____ LICENSE NO. _____

LAKE GOLF ESTATES 3RD ADDITION
HOWARD LAKE, MN

Westwood
Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
Fax (952) 937-5822 Minnetonka, MN 55343
Toll Free (888) 937-5150 westwoodps.com
Westwood Professional Services, Inc.

EXISTING CONDITIONS & REMOVALS PLAN
PROJECT NUMBER: 0060326.00

SHEET NUMBER:
2 OF **15**
DATE: 08/11/25



SITE DEVELOPMENT DATA

- EXISTING ZONING: R-1A, CONTEMPORARY, EXISTING LOT SINGLE FAMILY RESIDENTIAL
- PROPOSED ZONING: PUD
- GROSS SITE AREA: 8.08 AC
- DEVELOPMENT SUMMARY:
 - 55' SINGLE FAMILY LOTS (B1L1,2,6,9; B2L7,8,15,16): 8 LOTS
 - 65' SINGLE FAMILY LOTS (B1L3,4,5,7,8; B2L1-6, 9-14): 17 LOTS
- TOTAL HOMES: 25 HOMES
- OUTLOT A: 0.36 AC
- PROJECT DENSITY:
 - GROSS: ±3.09 UN/AC

SHORELAND IMPERVIOUS CALCULATIONS

TOTAL AREA W/IN SHORELAND	236,805 SF
LESS PUBLIC R/W W/IN SHORELAND	-36,909 SF
OVERALL PRIVATE LOT AREA	199,896 SF
HOUSE PADS & DRIVEWAYS:	65,123 SF (33% IMPERVIOUS)

LOT STANDARDS

STANDARD	R-1A REQUIREMENTS	PROPOSED 55' SINGLE FAMILY	PROPOSED 65' SINGLE FAMILY
MINIMUM LOT AREA	10,500 SF	7,280 SF	8,581 SF
AVERAGE LOT AREA	-	10,523 SF	11,917 SF
MINIMUM LOT WIDTH	85'	55'	65'
MINIMUM LOT DEPTH	125'	130'	130'
SETBACKS			
FRONT	30'	30'	30'
SIDE INTERIOR LOT	10'	7.5' / 7.5'; 15' TOTAL	7.5' / 7.5'; 15' TOTAL
SIDE CORNER LOT	30'	30'	30'
REAR	25' OR 30' DOUBLE FRONTAGE	25' OR 30' DOUBLE FRONTAGE	25' OR 30' DOUBLE FRONTAGE

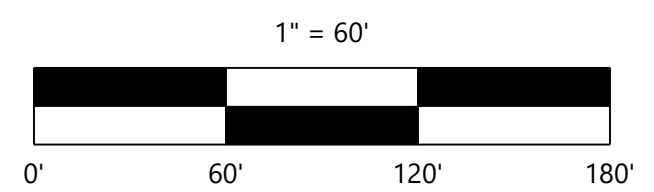
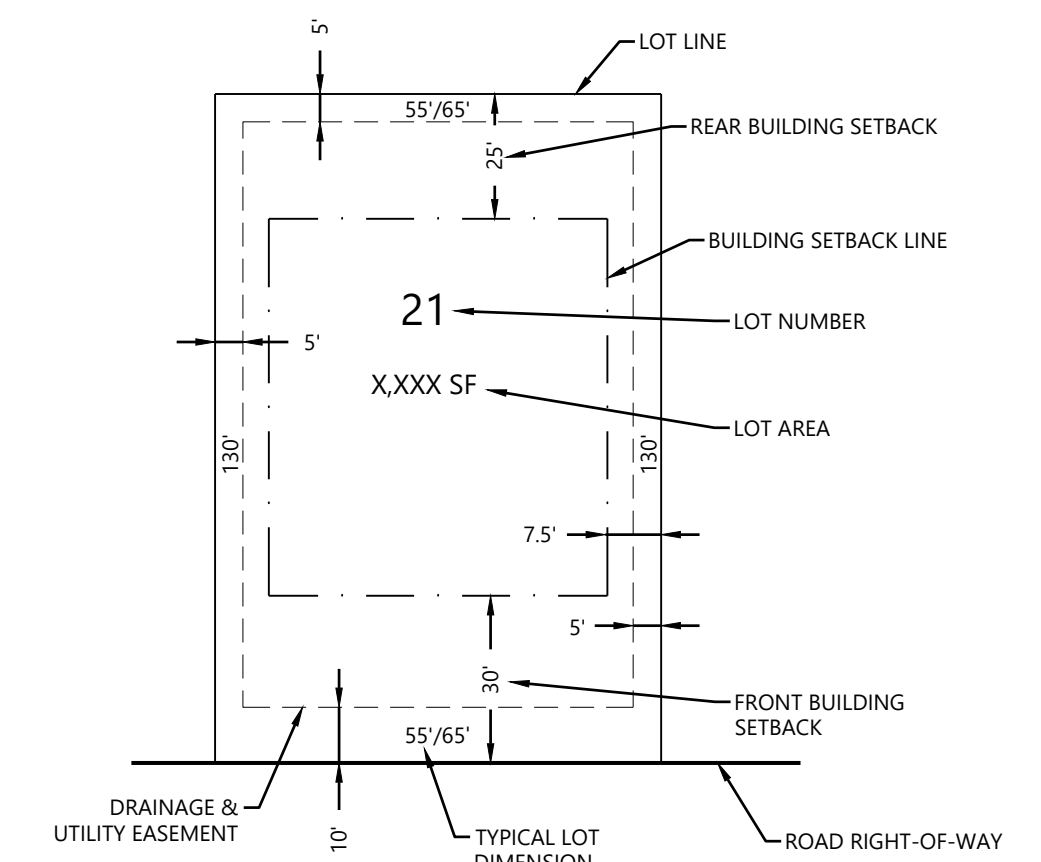
SITE LEGEND

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	LOT LINE
---	---	SETBACK LINE
---	---	EASEMENT LINE
---	---	CURB AND GUTTER
---	---	TIP-OUT CURB AND GUTTER
---	---	POND NORMAL WATER LEVEL
---	---	RETAINING WALL

DEVELOPMENT NOTES

- ALL LOT DIMENSIONS ARE ROUNDED TO THE NEAREST FOOT.
- ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
- STREET NAMES ARE SUBJECT TO APPROVAL BY THE CITY.
- DRAINAGE AND UTILITY EASEMENTS SHALL BE PROVIDED AS REQUIRED. DRAINAGE AND UTILITY EASEMENTS WILL BE PROVIDED OVER ALL PUBLIC UTILITIES AND UP TO 1 FOOT ABOVE THE HIGH WATER LEVEL OF ALL PONDS.
- STREET WIDTHS ARE SHOWN FROM BACK OF CURB TO BACK OF CURB.

TYPICAL SINGLE FAMILY (SF) LOT DETAIL



NOT FOR CONSTRUCTION

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VERTICAL SCALE:	12' OR 6'

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PREPARED FOR:
JPB LAND, LLC.
13700 REIMER DRIVE N., SUITE 100
MAPLE GROVE, MN 55311

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA
CHRISTIAN FROEMKE
DATE: 08/11/25 LICENSE NO. 56208

LAKE GOLF ESTATES 3RD ADDITION
HOWARD LAKE, MN

Westwood
Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
Fax (952) 937-5822 Minnetonka, MN 55343
Toll Free (888) 937-5150 westwoods.com
Westwood Professional Services, Inc.

SHEET NUMBER:
3 OF **15**
PRELIMINARY PLAT
PROJECT NUMBER: 0060326.00 DATE: 08/11/25

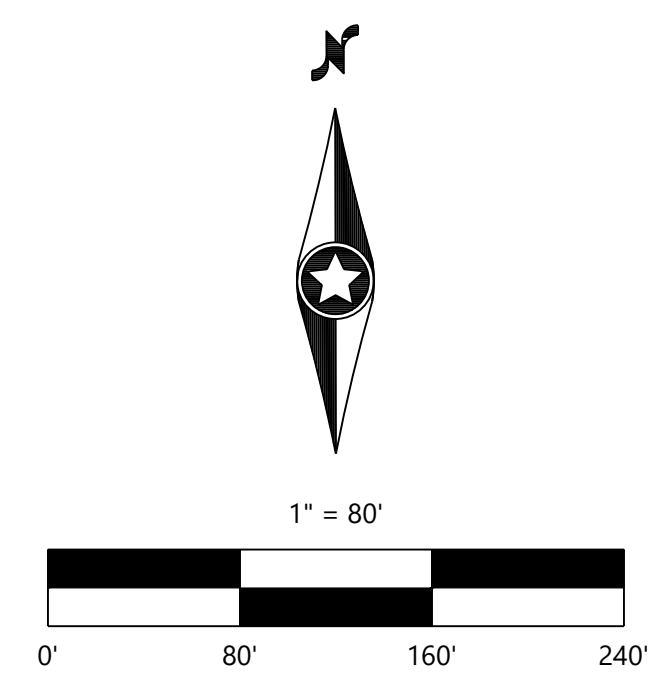


GRADING LEGEND

EXISTING	PROPOSED	
SB-19	SB-19	PROPERTY LINE
980	980	SOIL BORING LOCATION
982	982	INDEX CONTOUR
900.00	900.00	INTERVAL CONTOUR
	HP/LP 900.00	SPOT ELEVATION
	CL-CL 900.00	HIGH/LOW POINT
	0.00%	CL-CL ELEVATION
	TW=XXX.XX BW=XXX.XX	FLOW DIRECTION
	E.O.F. →	TOP AND BOTTOM OF RETAINING WALL
STO	→ XX%	EMERGENCY OVERTFLOW
	→	PROPOSED STREET PROFILE GRADE
	→	STORM SEWER
	→	TREE LINE
	→	RETAINING WALL (MODULAR BLOCK)
	→	GRADING LIMITS
	→	POND NORMAL WATER LEVEL
	→	WETLAND LINE
	→	WETLAND FILL
	→	WETLAND BUFFER
	→	POND ACCESS MAINTENANCE BENCH
	→	WETLAND BUFFER LIMITS
	→	WETLAND BUFFER MONUMENT
	→	DO NOT DISTURB

GRADING & DRAINAGE NOTES

- ALL CONTOURS AND SPOT ELEVATIONS ARE SHOWN TO FINISHED SURFACE/GUTTER GRADES UNLESS OTHERWISE NOTED.
- REFER TO THE SITE PLAN/RECORD PLAT FOR MOST CURRENT HORIZONTAL SITE DIMENSIONS AND LAYOUT.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING UTILITIES AND TOPOGRAPHICAL FEATURES WITH THE OWNERS AND FIELD-VERIFY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM PLAN.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL RULES.
- POSITIVE DRAINAGE FROM THE SITE MUST BE PROVIDED AT ALL TIMES.



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PREPARED FOR:
JPB LAND, LLC.
13700 REIMER DRIVE N., SUITE 100
MAPLE GROVE, MN 55311

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CHRISTIAN FROEMKE
DATE: 08/11/25 LICENSE NO. 56208

LAKE GOLF ESTATES 3RD ADDITION
HOWARD LAKE, MN

Westwood
Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
Fax (952) 937-5822 Minnetonka, MN 55343
Toll Free (888) 937-5150 westwoodps.com
Westwood Professional Services, Inc.

PRELIMINARY GRADING & EROSION CONTROL PLAN
PROJECT NUMBER: 0060326.00

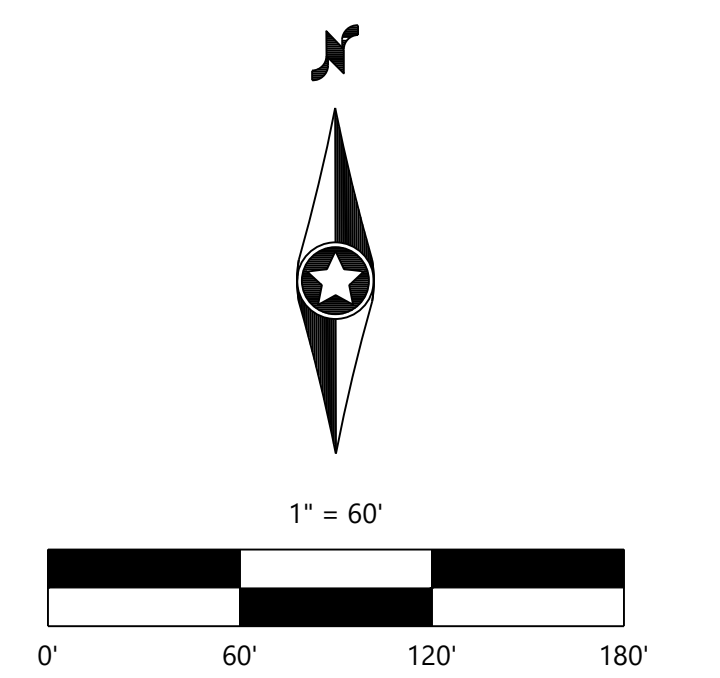
SHEET NUMBER:
4 OF **15**
DATE: 08/11/25

OVERALL UTILITY LEGEND

EXISTING	PROPOSED	FUTURE	
			SANITARY SEWER
			STORM SEWER
			DRAIN TILE
			WATER MAIN
			HYDRANT

GENERAL UTILITY NOTES

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OF ANY DIFFERENCES.
2. UNLESS OTHERWISE NOTED, ALL MATERIALS, CONST. TECHNIQUES AND TESTING SHALL CONFORM TO THE 2023 ED. OF THE "STANDARD UTILITIES SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION BY THE CITY ENGINEERING ASSOCIATION OF MINN." AND TO THE "STANDARD SPECIFICATION FOR HIGHWAY CONSTRUCTION" MINN. DEPT. OF TRANS., 2020 EDITION AND SUPPLEMENTAL SPECIFICATIONS SEPTEMBER 2022. THE CONTRACTOR SHALL BE REQUIRED TO FOLLOW ALL PROCEDURES AS OUTLINED BY THE LOCAL AGENCY.
3. THE CONTRACTOR SHALL RECEIVE THE NECESSARY PERMITS FOR ALL WORK OUTSIDE OF THE PROPERTY LIMITS.
4. VERIFY EXISTING INVERT LOCATION & ELEVATION PRIOR TO BEGINNING CONSTRUCTION.
5. THE CONTRACTOR SHALL CONTACT "GOPHER STATE ONE CALL" FOR FOR UTILITY LOCATIONS PRIOR TO UTILITY INSTALLATION.



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PREPARED FOR:
JPB LAND, LLC.
 13700 REIMER DRIVE N., SUITE 100
 MAPLE GROVE, MN 55311

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 Westwood Professional Services, Inc.

PRELIMINARY SANITARY SEWER & WATER MAIN PLAN
 PROJECT NUMBER: 0060326.00

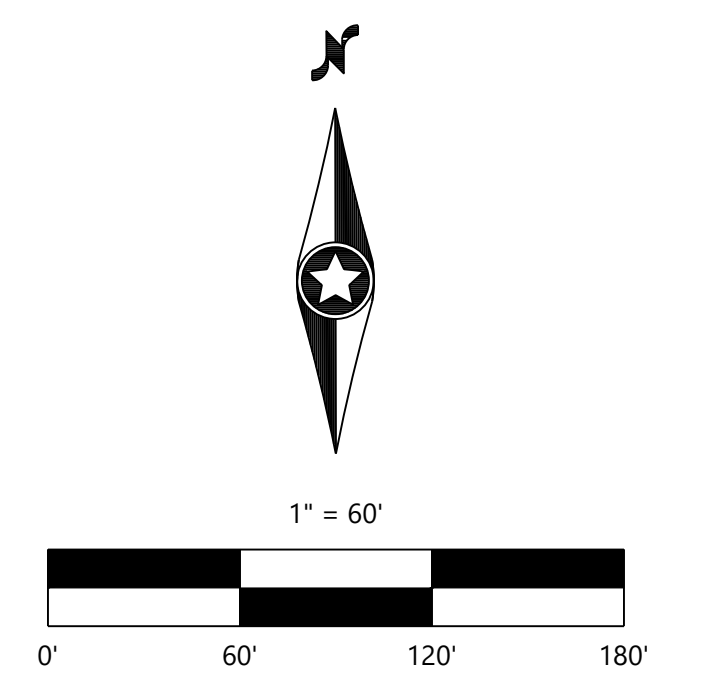
SHEET NUMBER:
5 OF **15**
 DATE: 08/11/25

LEGEND

EXISTING	PROPOSED	GUTTER ELEVATION
+ 900.00	x 900.00	

GENERAL NOTES

- RADIUS TO BE B618 CURB & GUTTER WITH 10' TRANSITIONS FROM SURMOUNTABLE CURB & GUTTER.
- ALL RCP SHALL BE CLASS X, UNLESS OTHERWISE NOTED.
- ALL CATCH BASIN CASTINGS IN CURB SHALL BE SUMPED 0.15 FEET. MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS SHOWN ON THE PROFILES REFLECT THE SUMPED ELEVATIONS.



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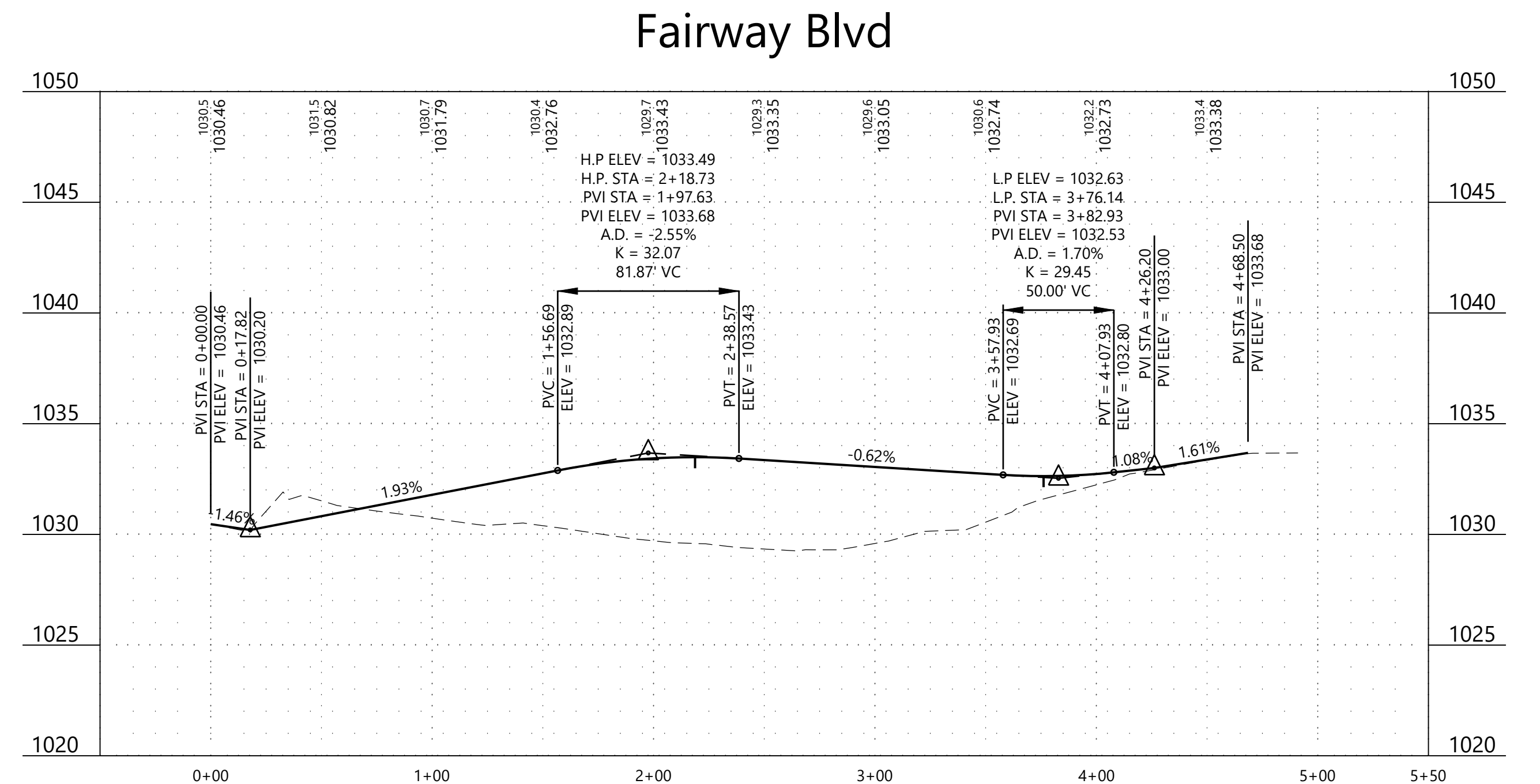
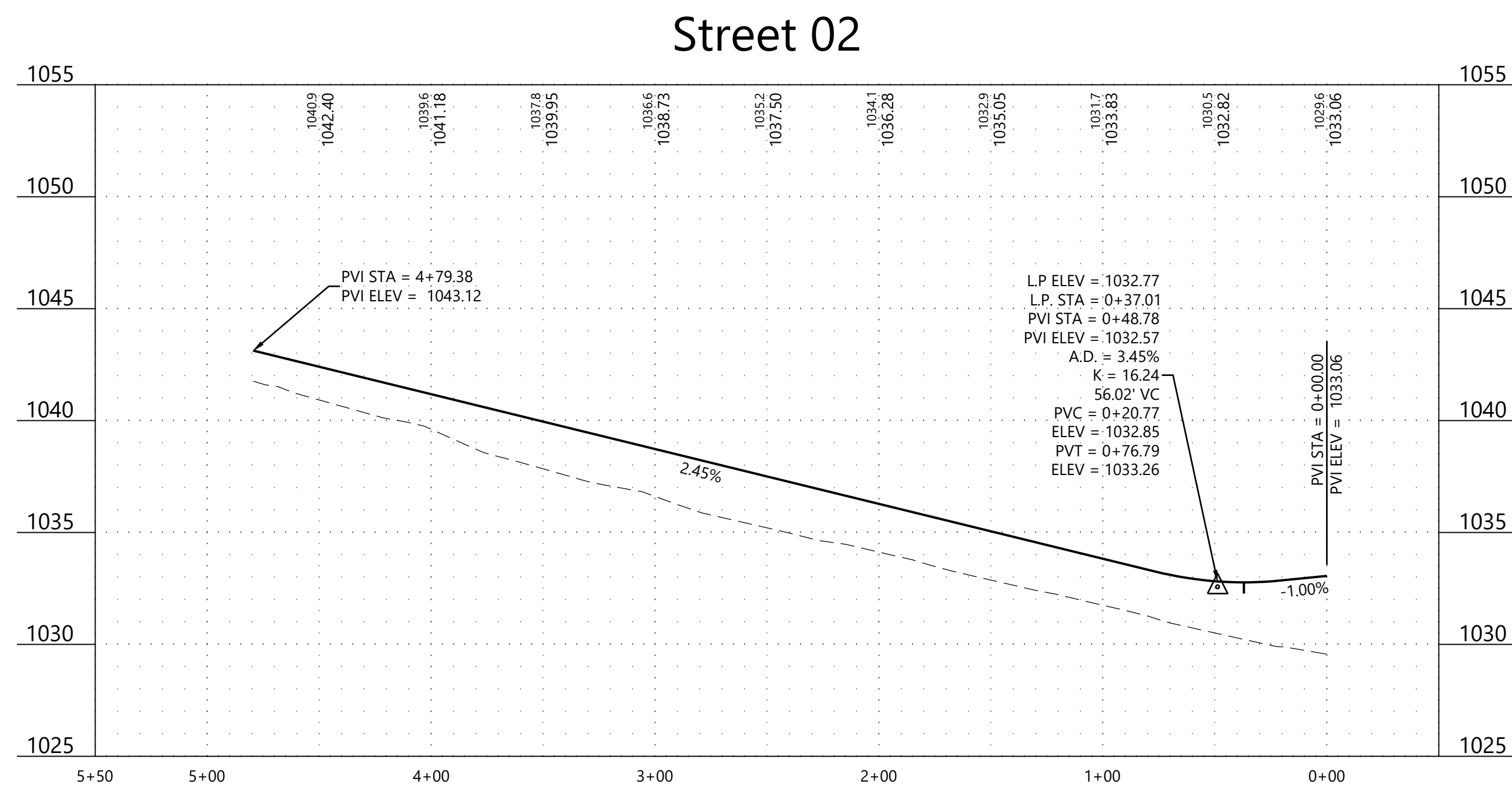
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CHRISTIAN FROEMKE
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Westwood Professional Services, Inc.

PRELIMINARY STORM SEWER & STREET PLAN
PROJECT NUMBER: 0060326.00

SHEET NUMBER:
6 OF **15**
DATE: 08/11/25



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 VERTICAL SCALE: ## or ##

INITIAL ISSUE: 08/11/25
 REVISIONS:
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PREPARED FOR:

JPB LAND, LLC.
 13700 REIMER DRIVE N., SUITE 100
 MAPLE GROVE, MN 55311

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 OF THE STATE OF MINNESOTA
CHRISTIAN FROEMKE
 DATE: 08/11/25 LICENSE NO. 56208

**LAKE GOLF ESTATES 3RD
 ADDITION**
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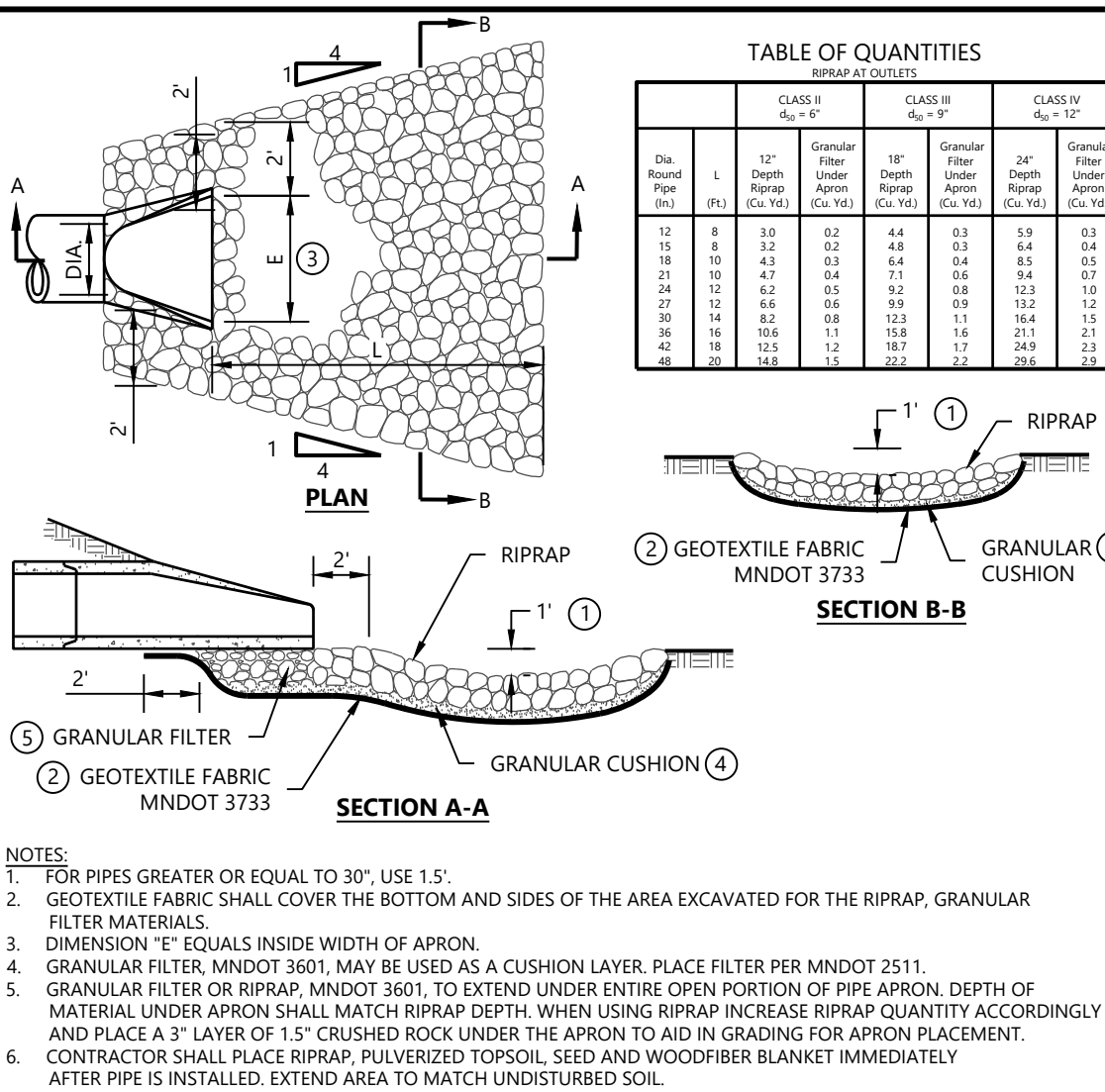
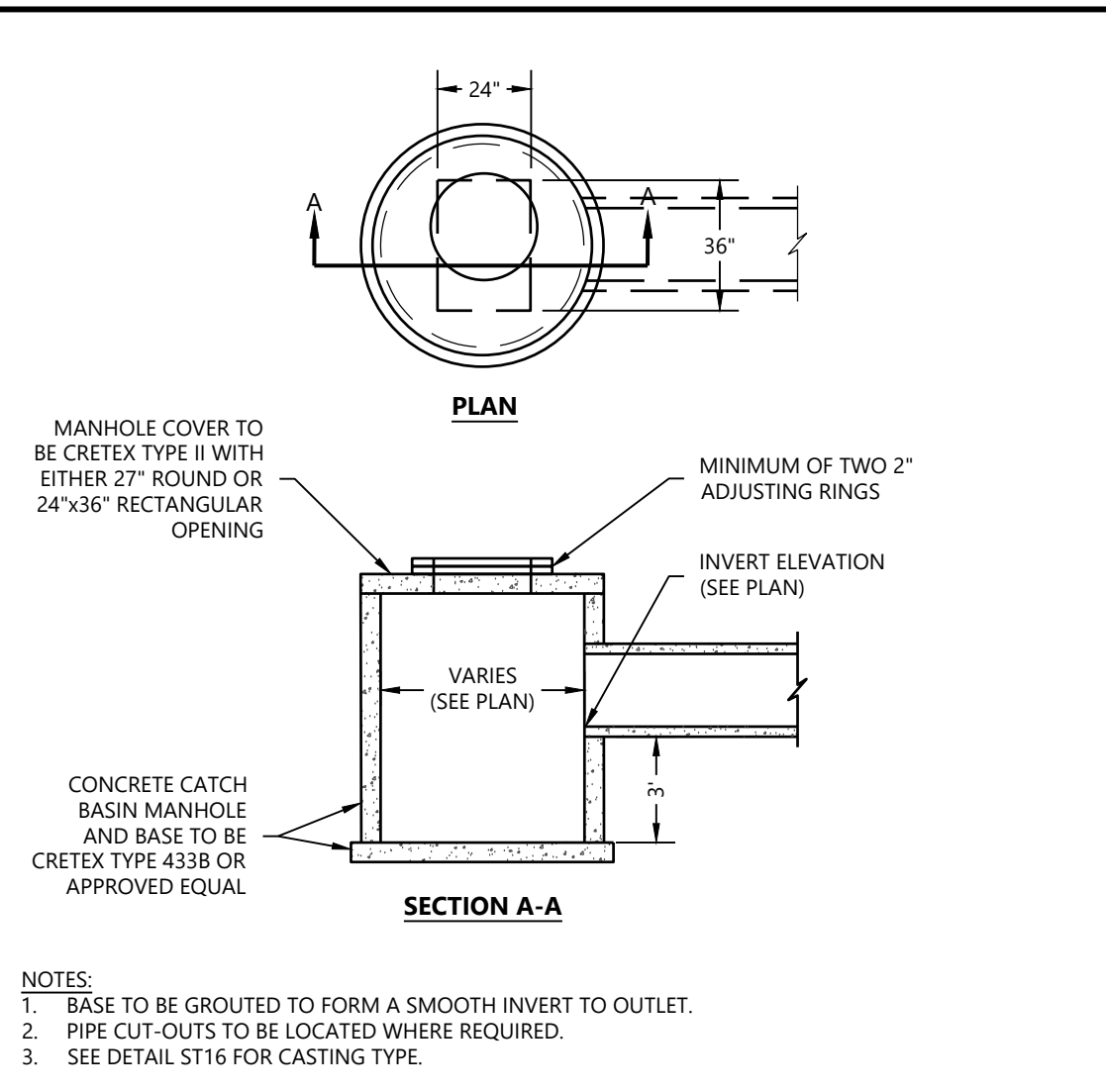
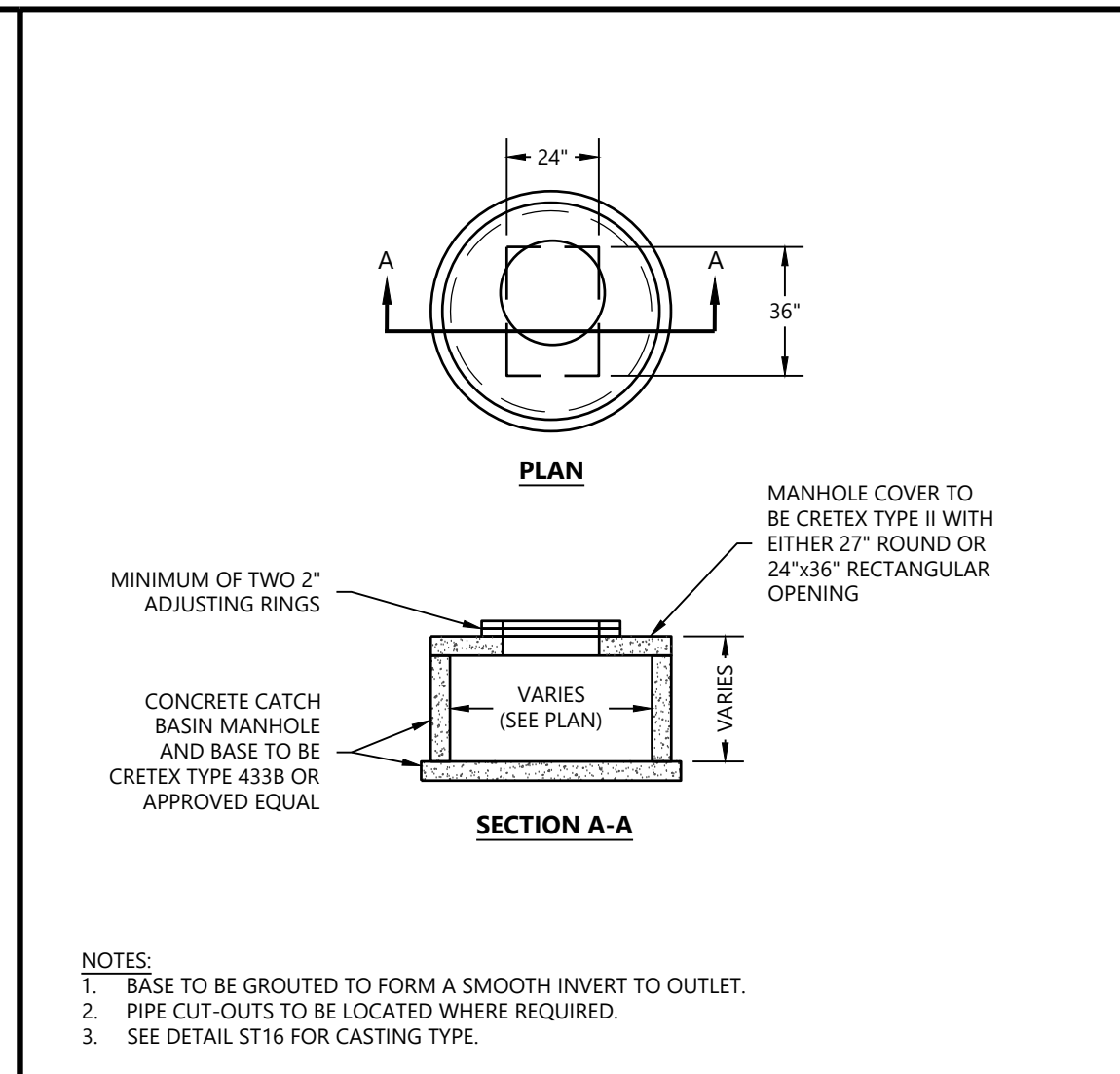
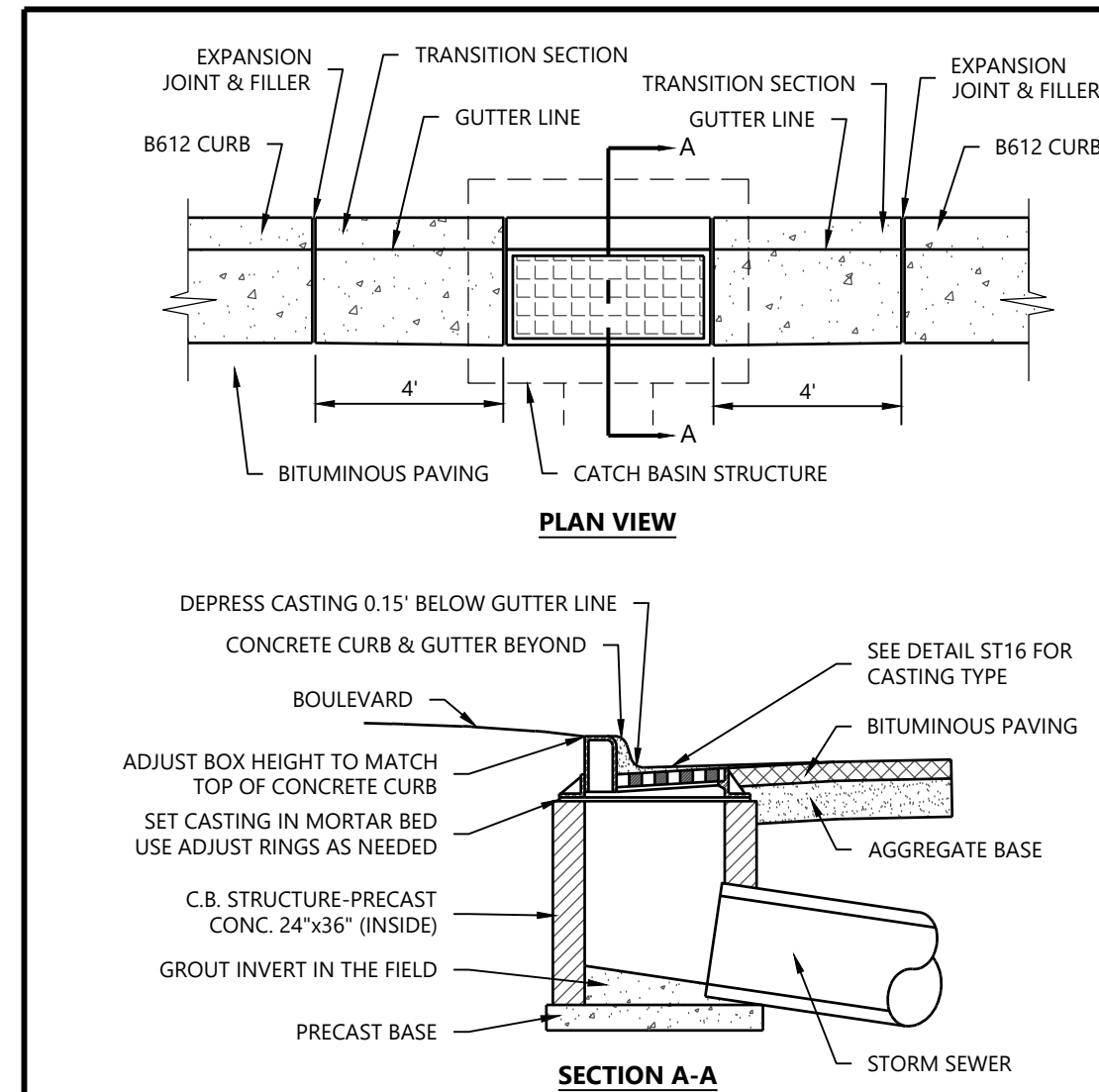
STREET PROFILES

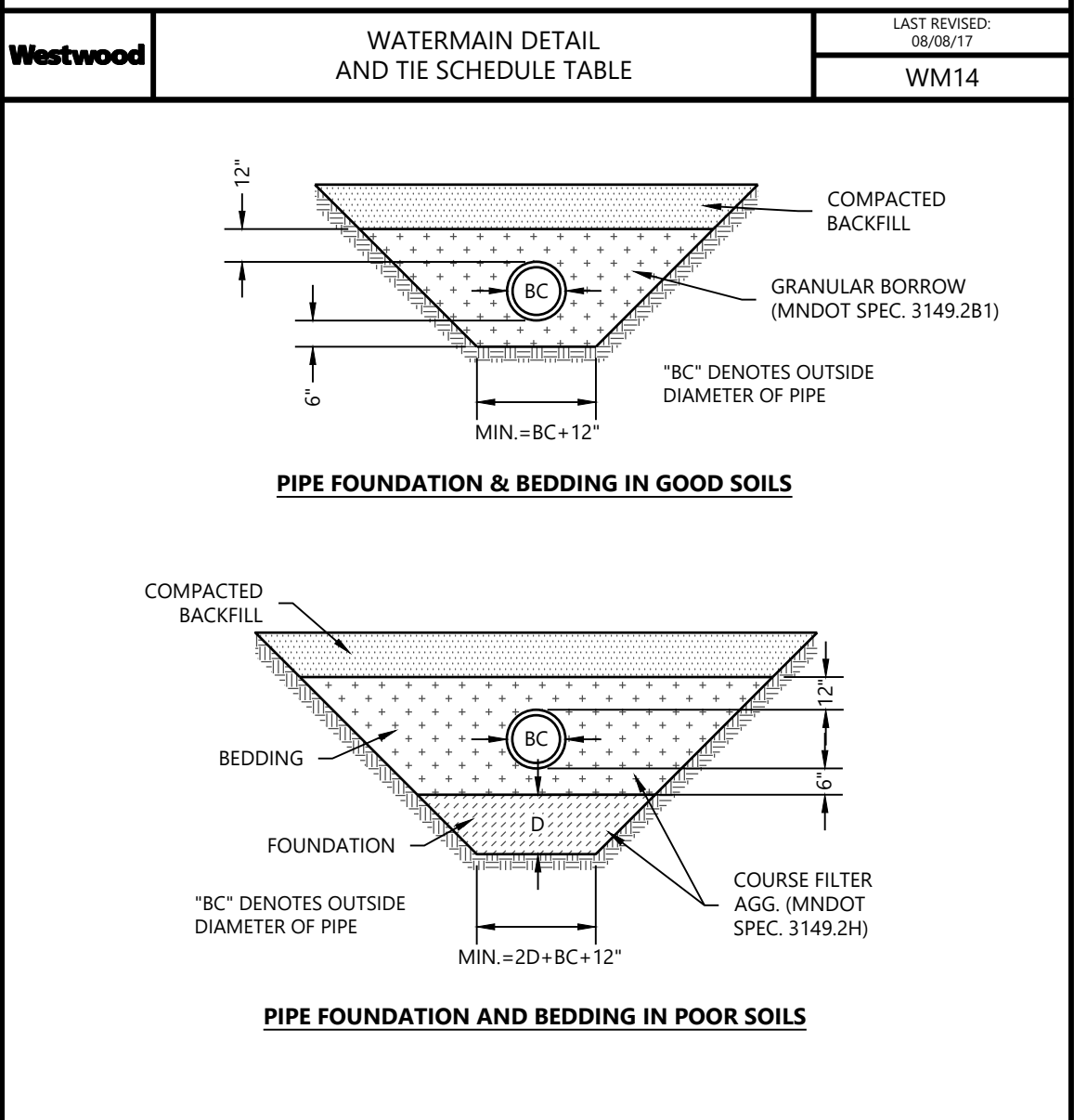
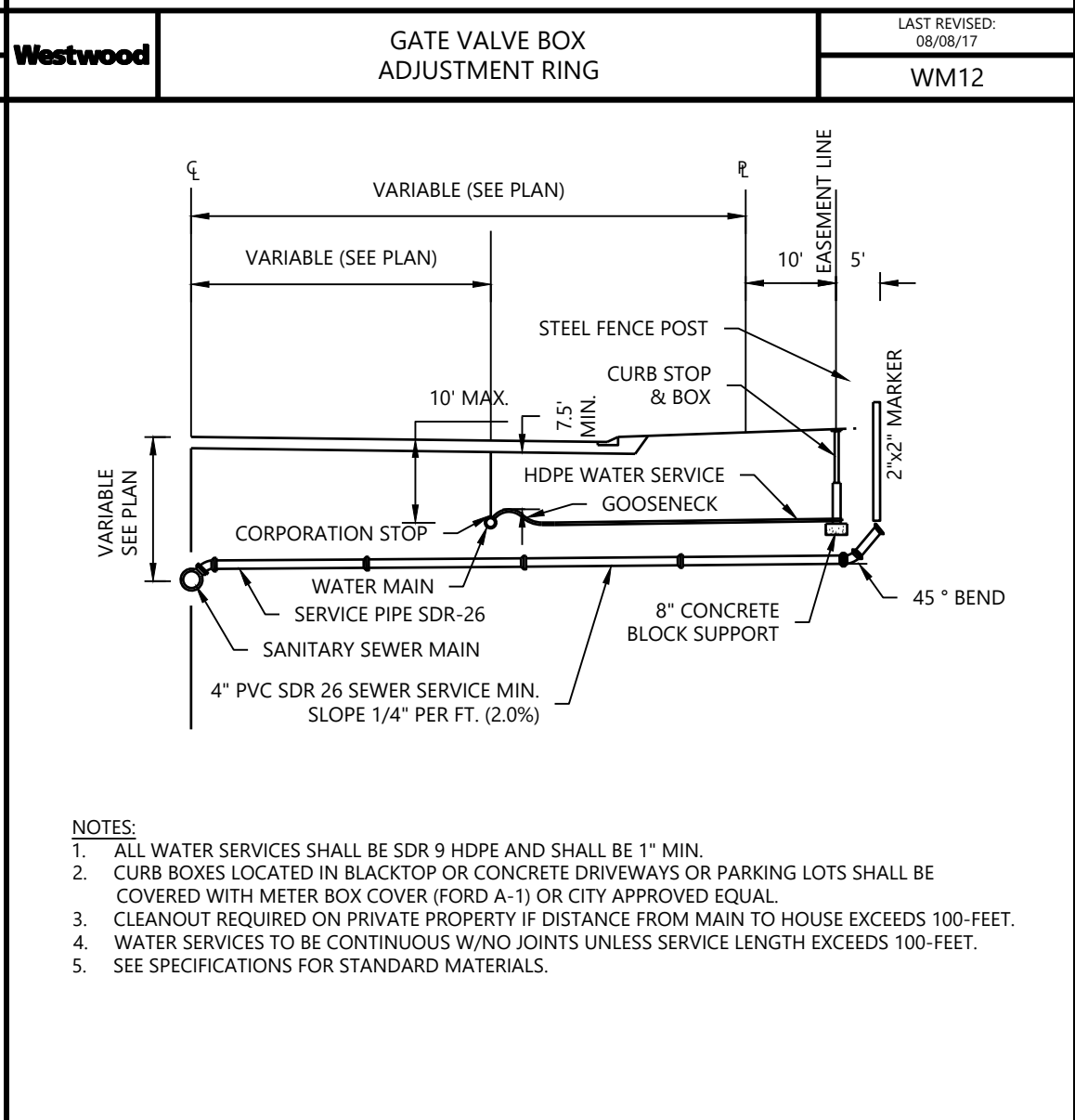
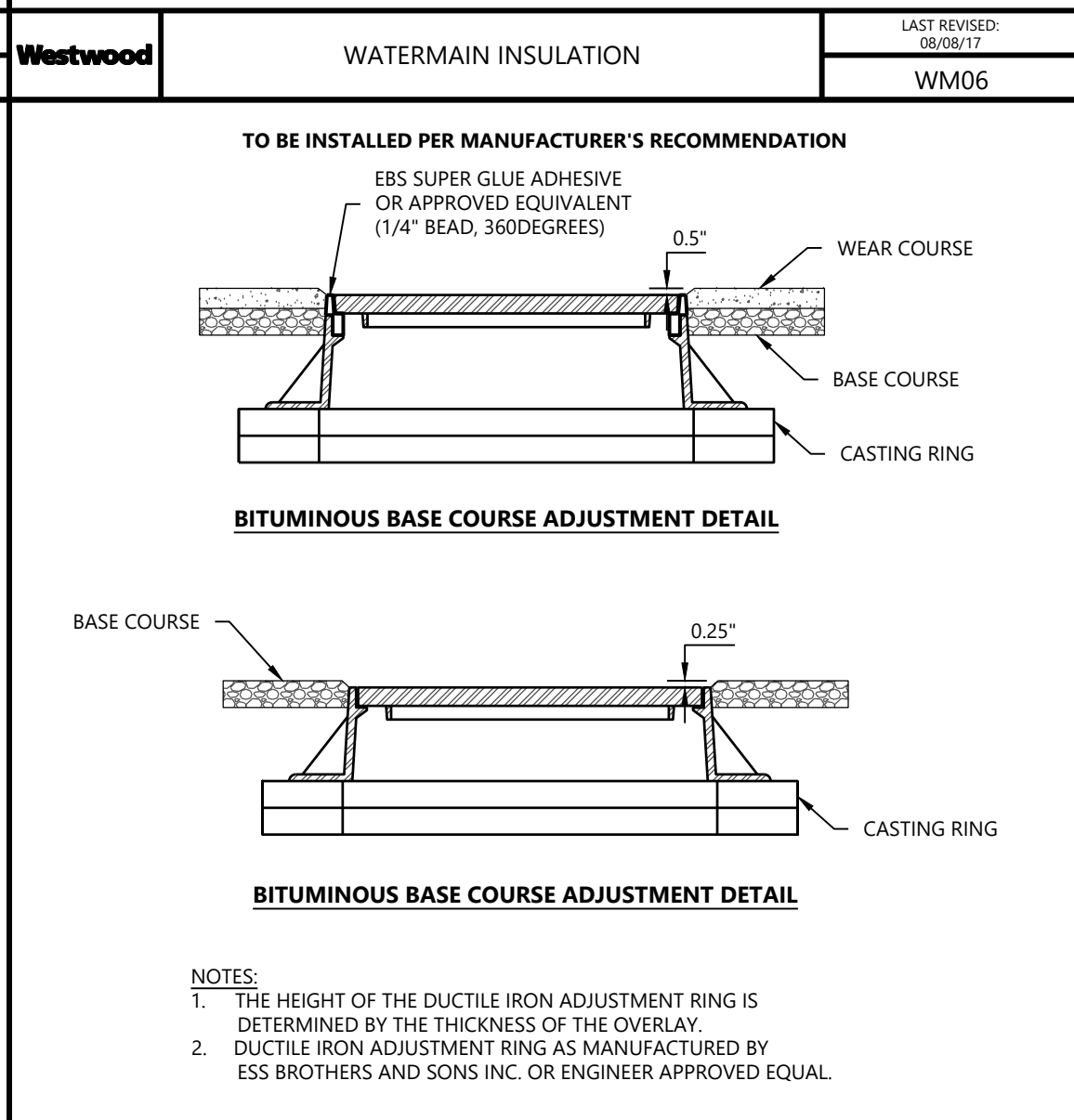
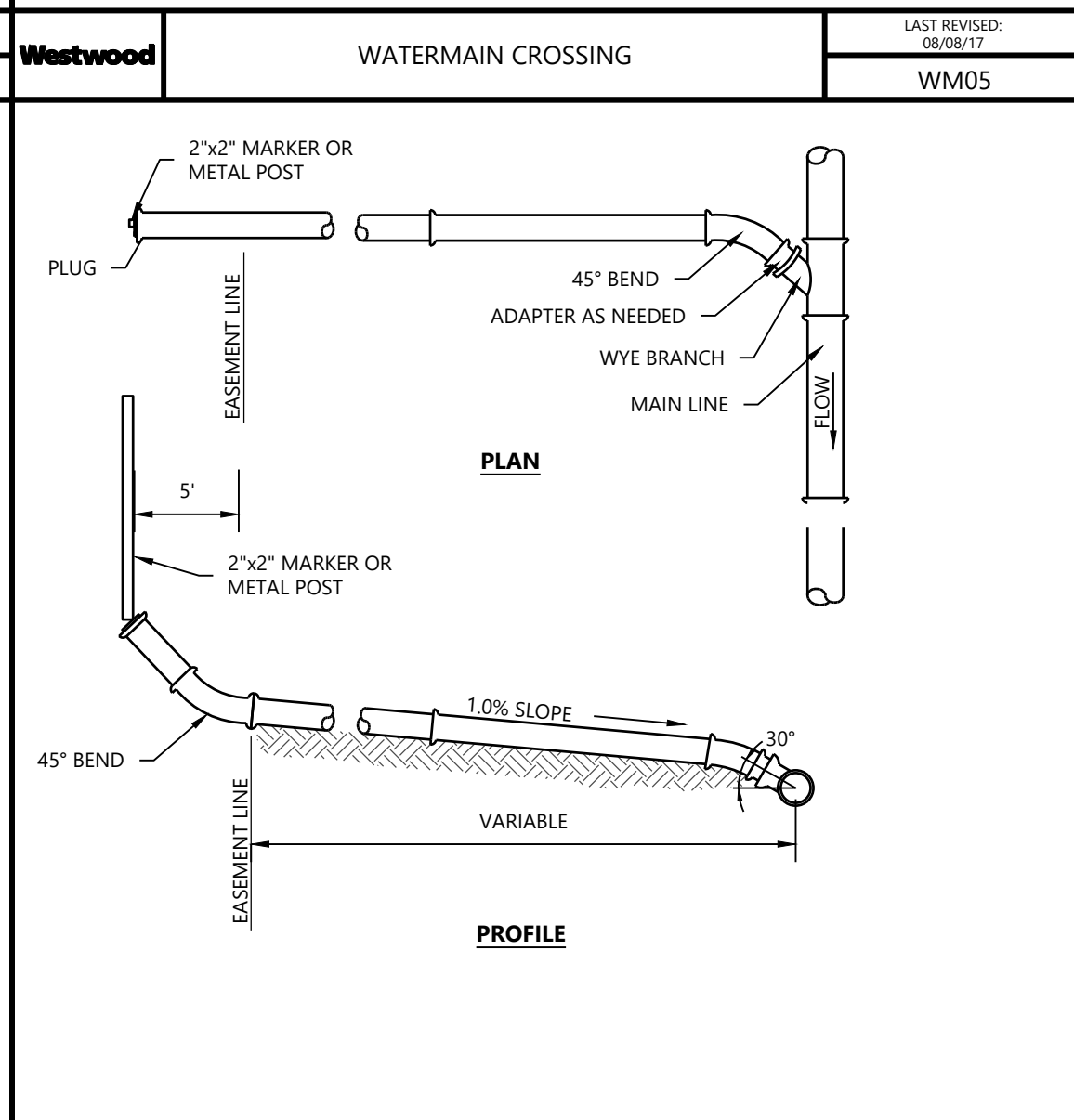
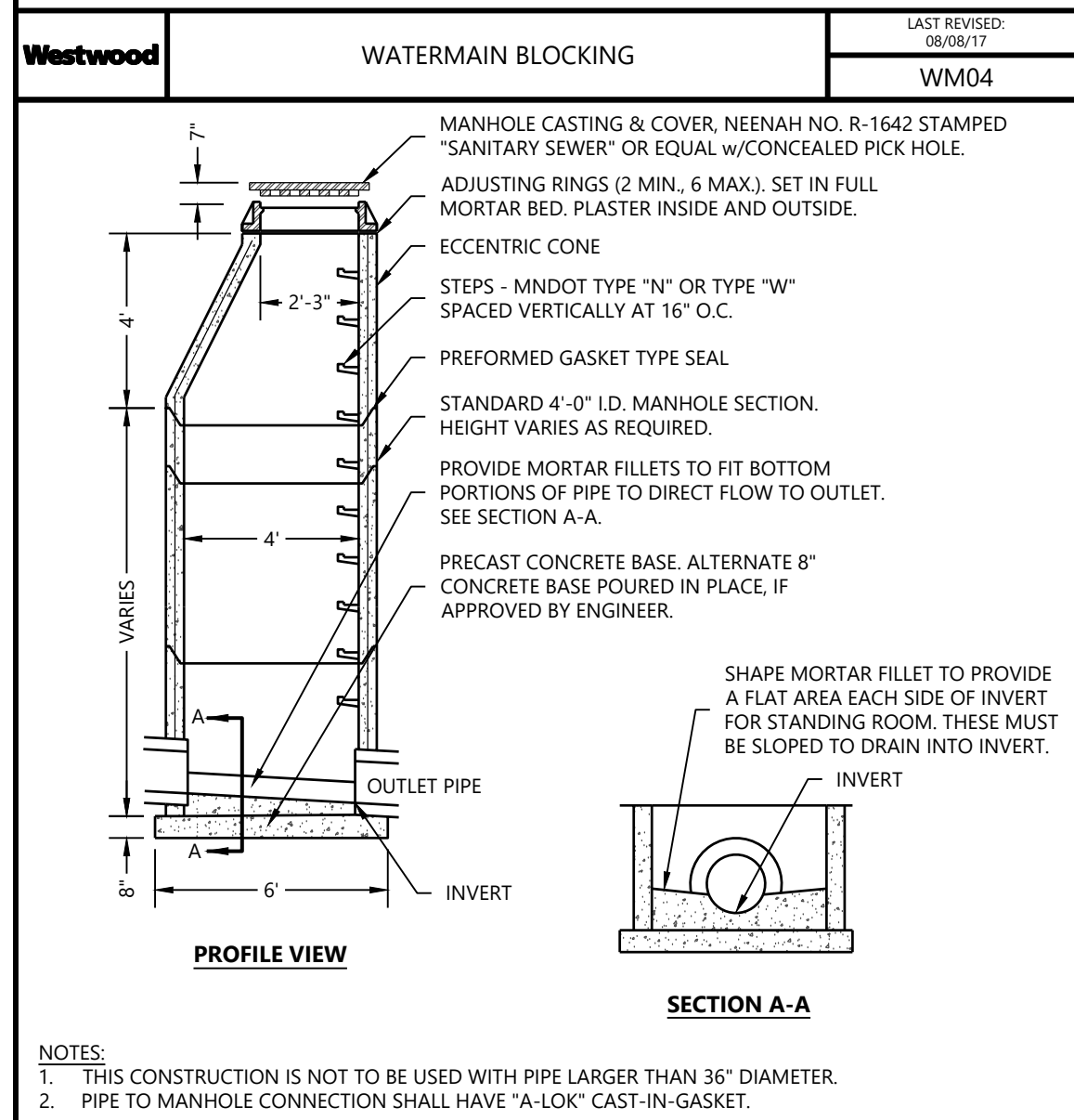
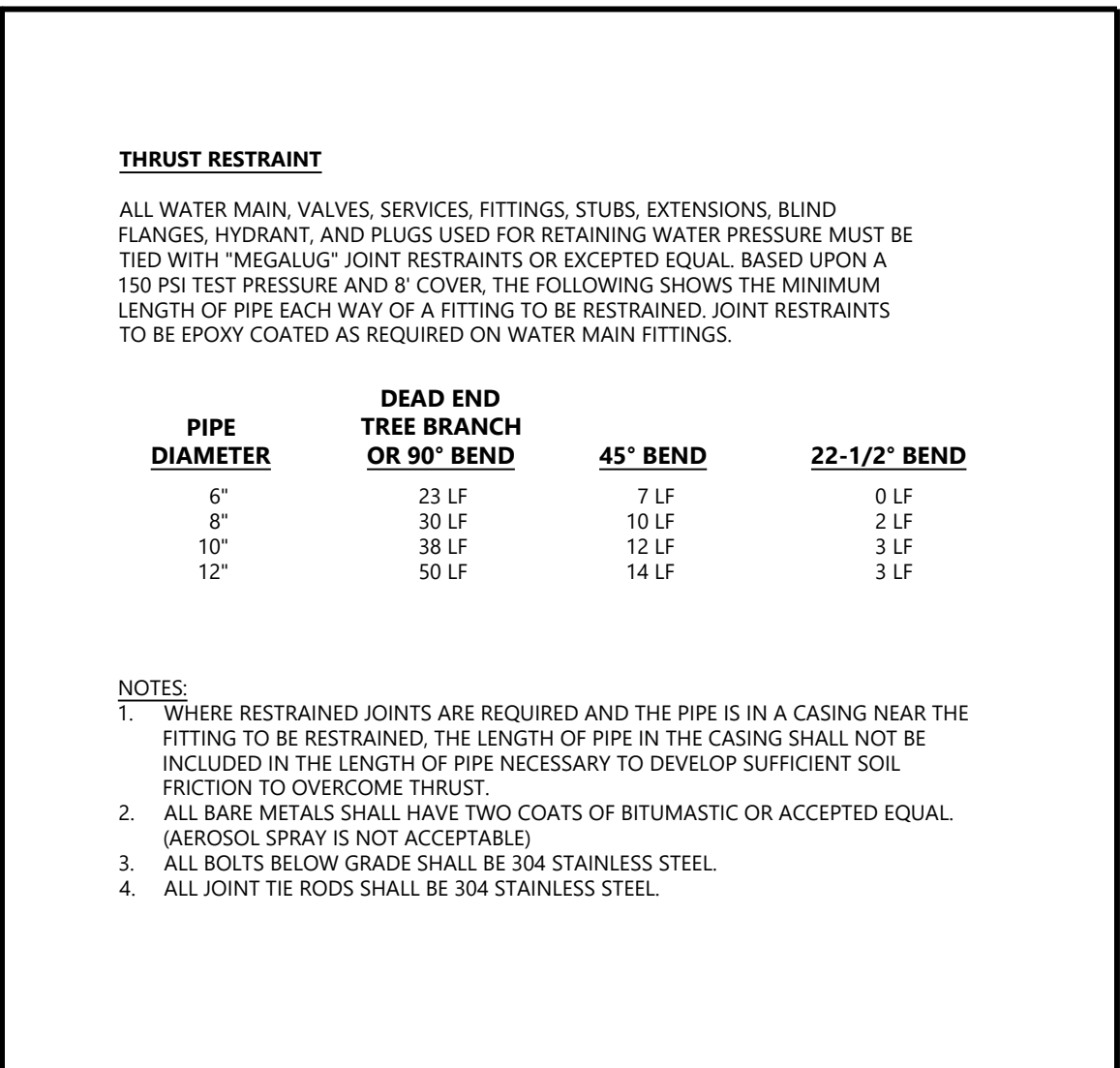
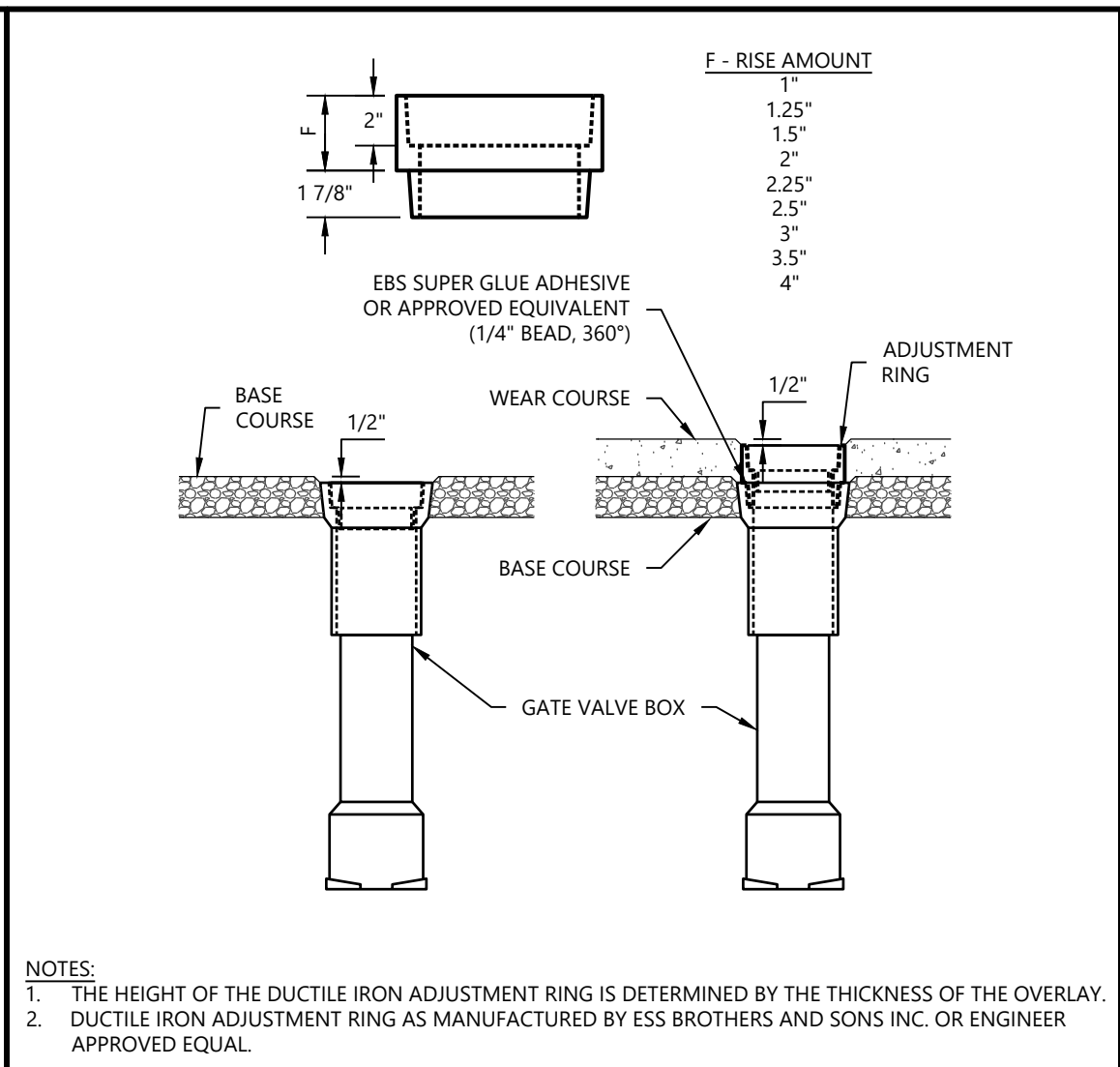
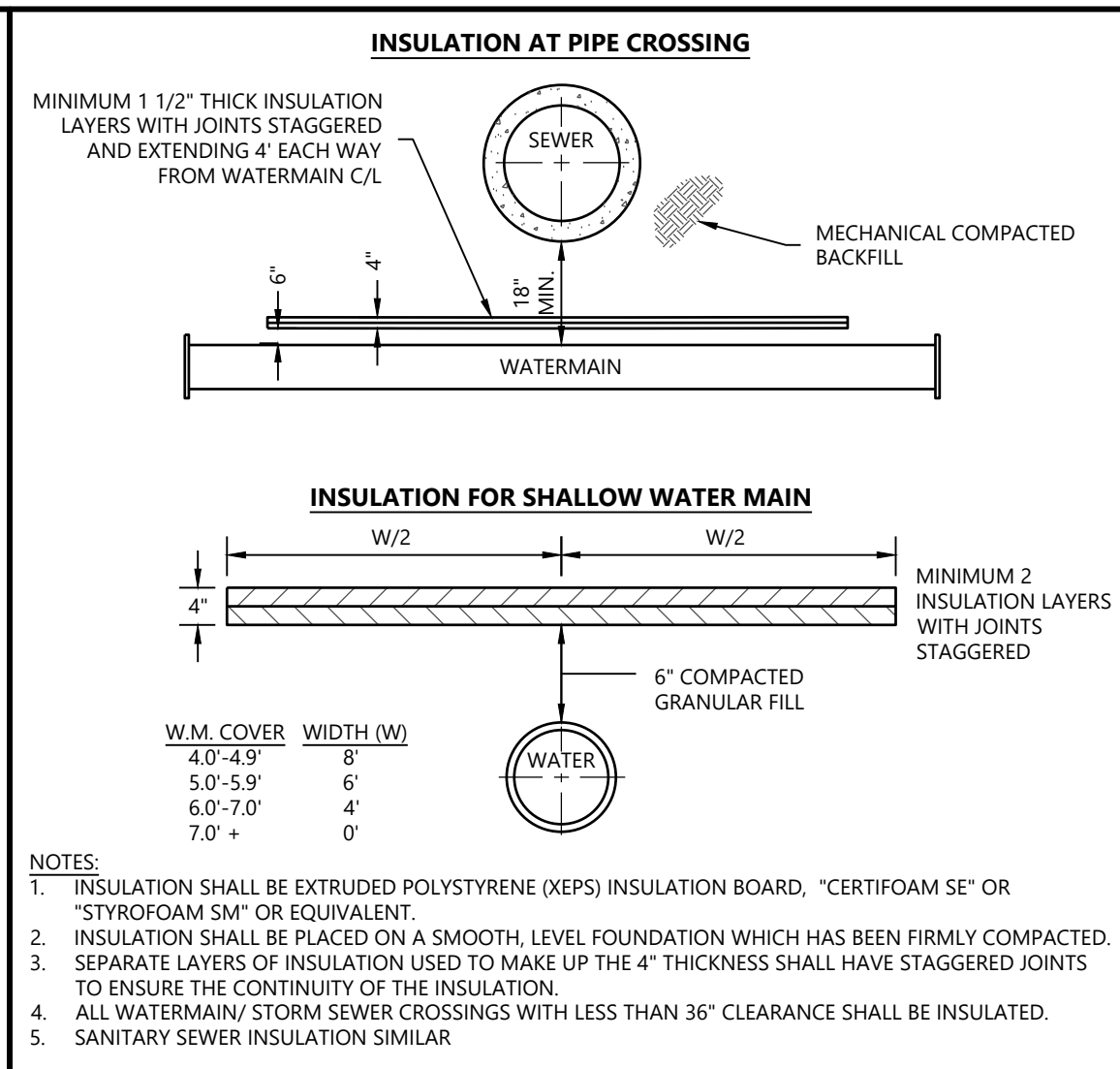
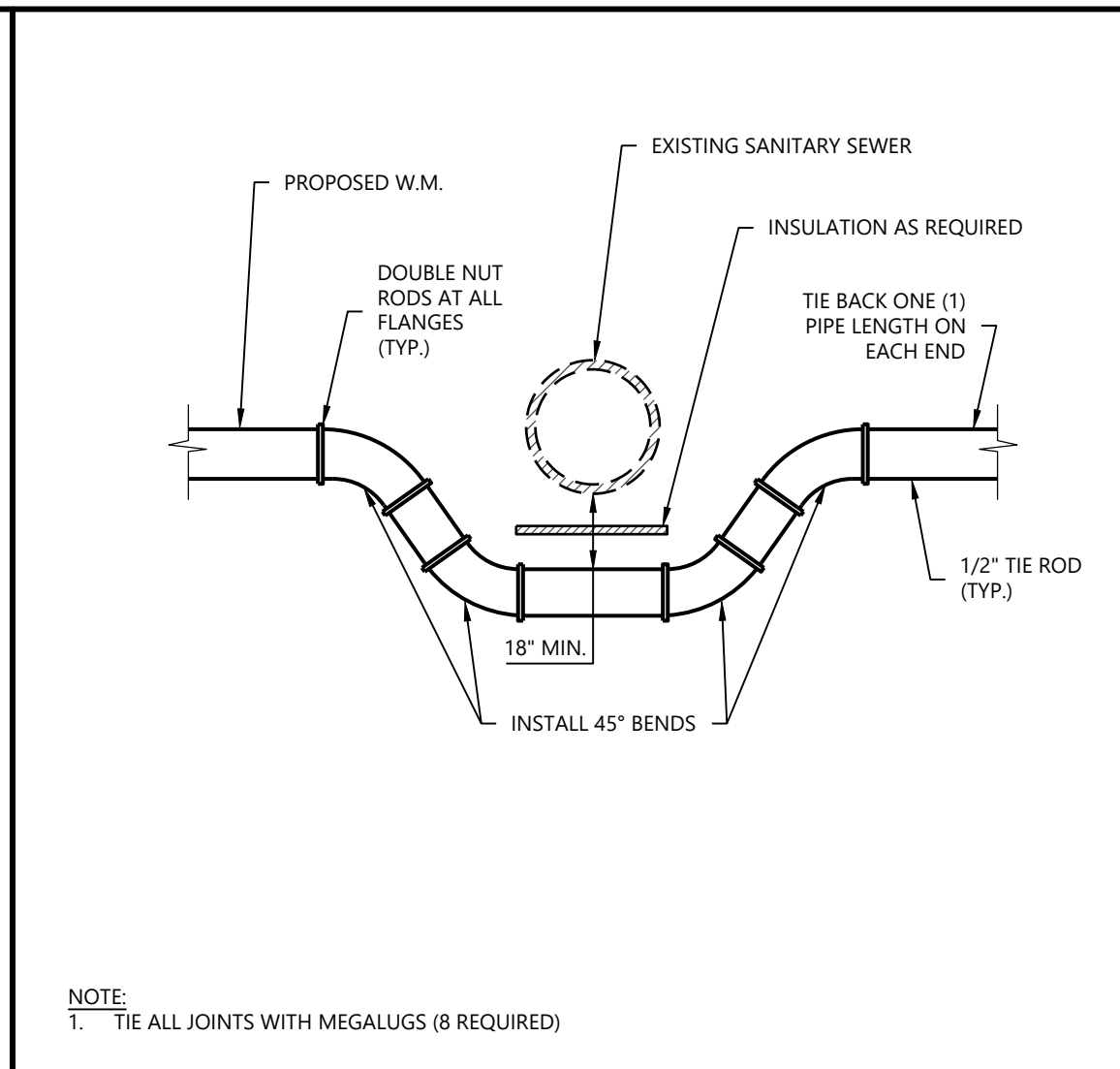
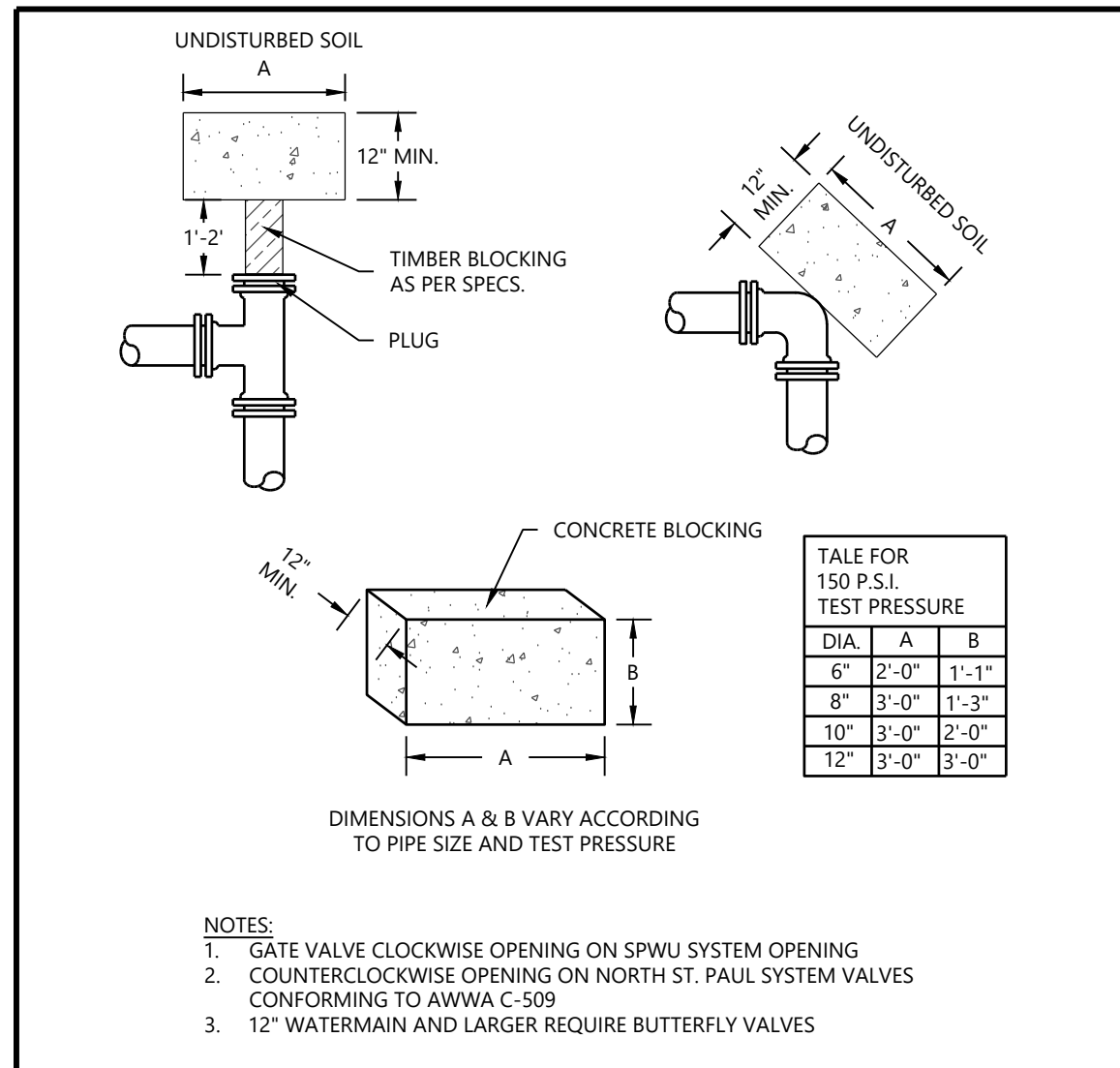
PROJECT NUMBER: 0060326.00

SHEET NUMBER:

7 OF **15**

DATE: 08/11/25





DESIGNED: _____
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 HORIZONTAL SCALE: ###
 VERTICAL SCALE: ## or ##

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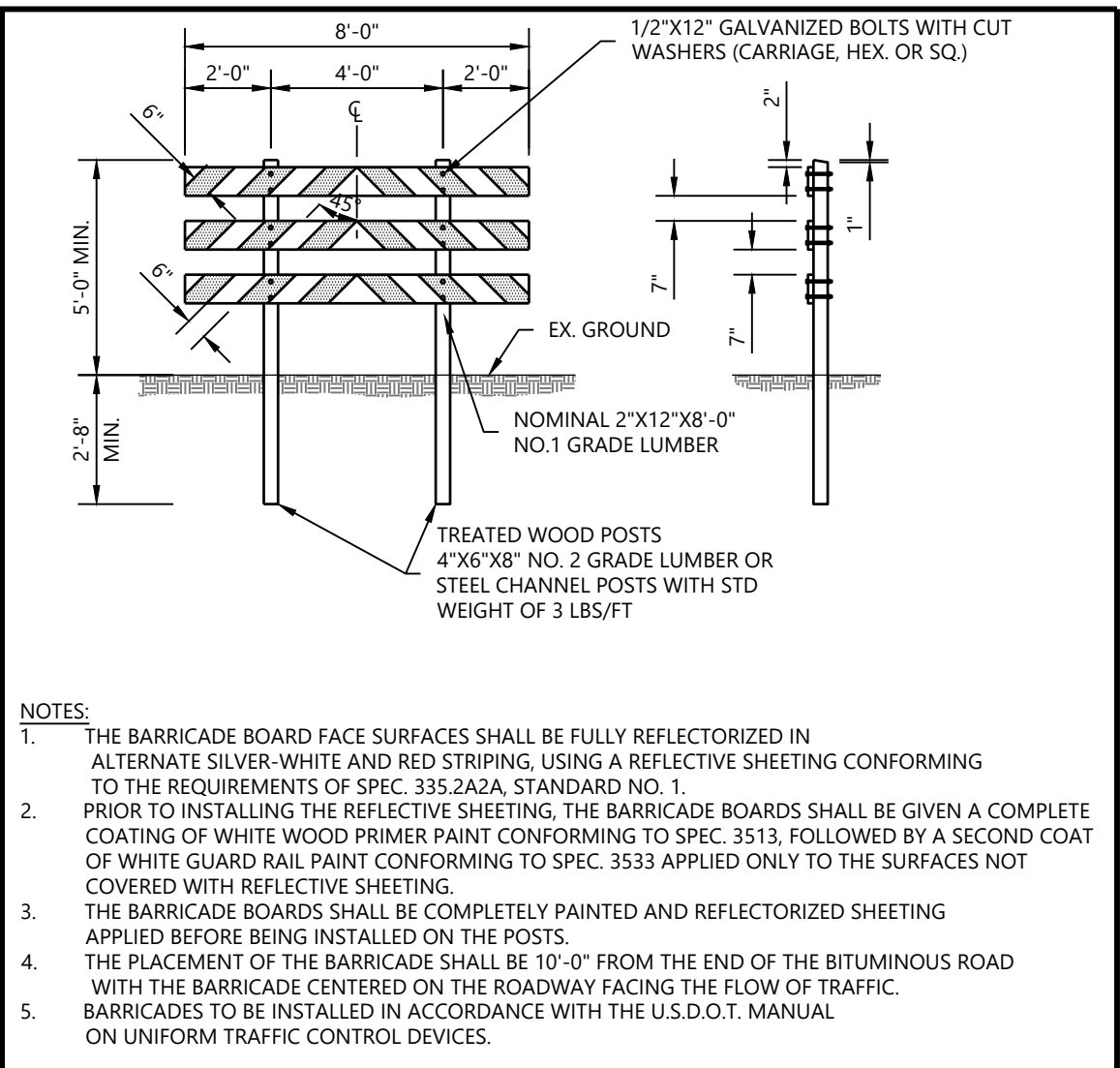
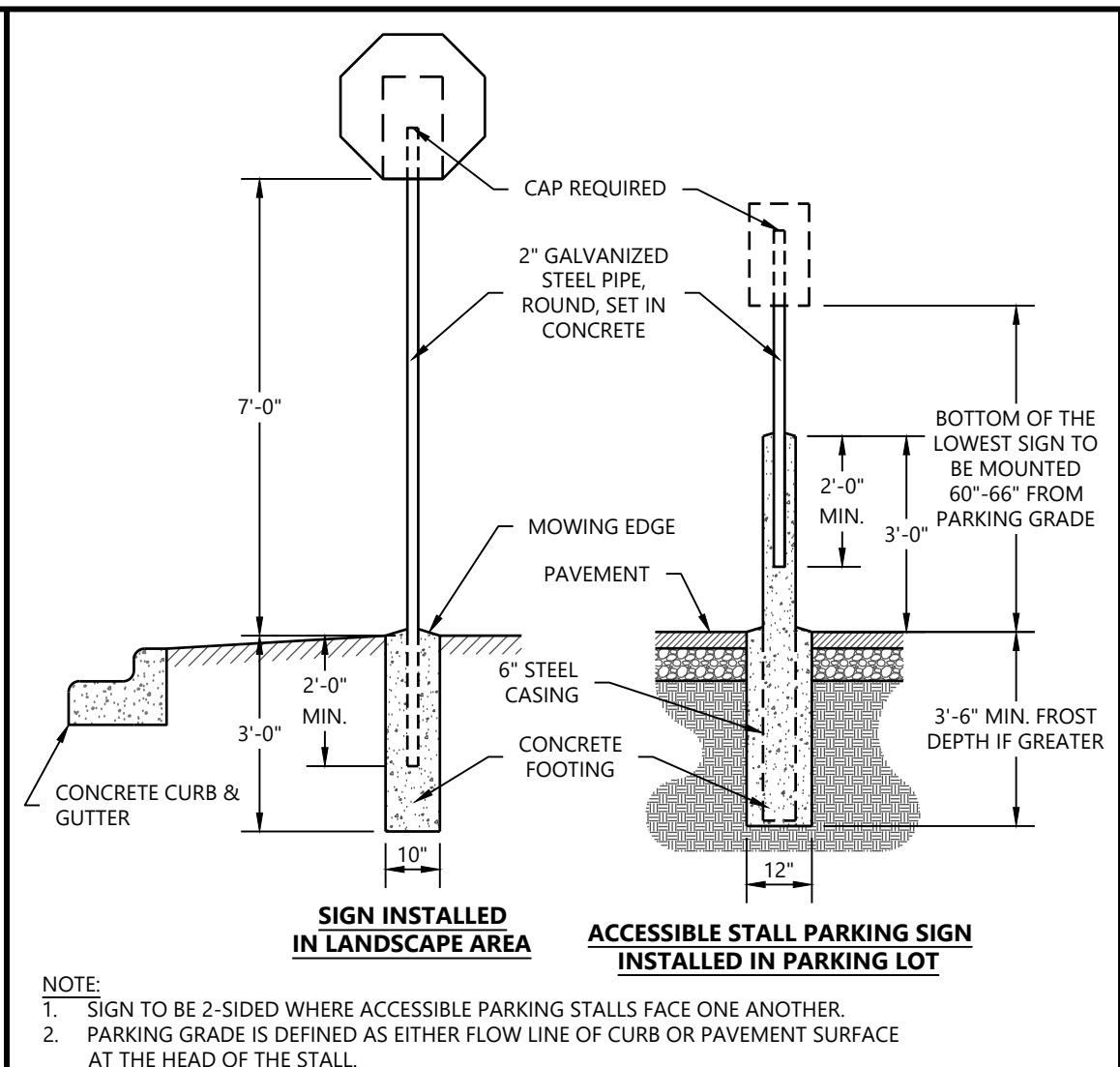
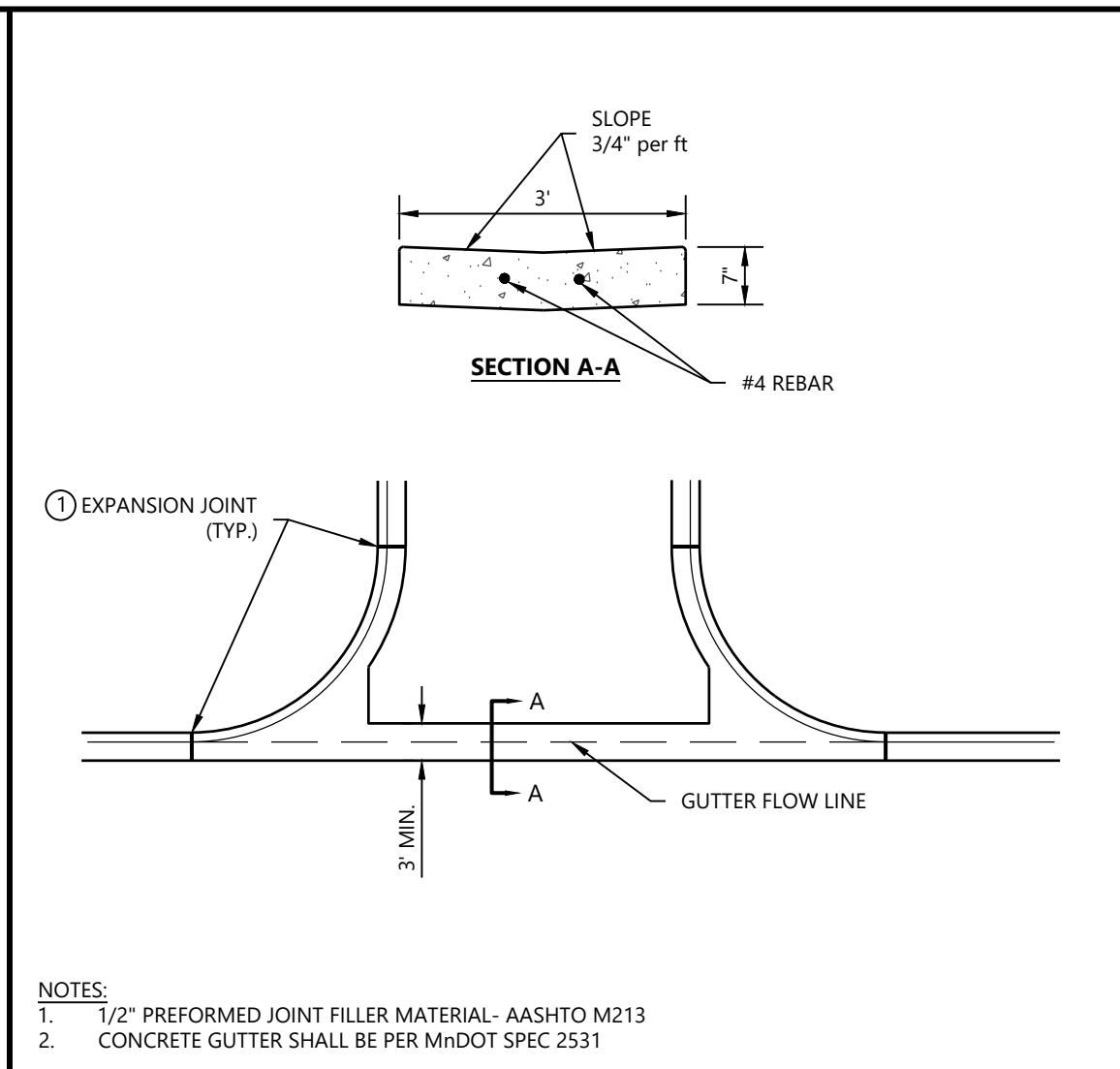
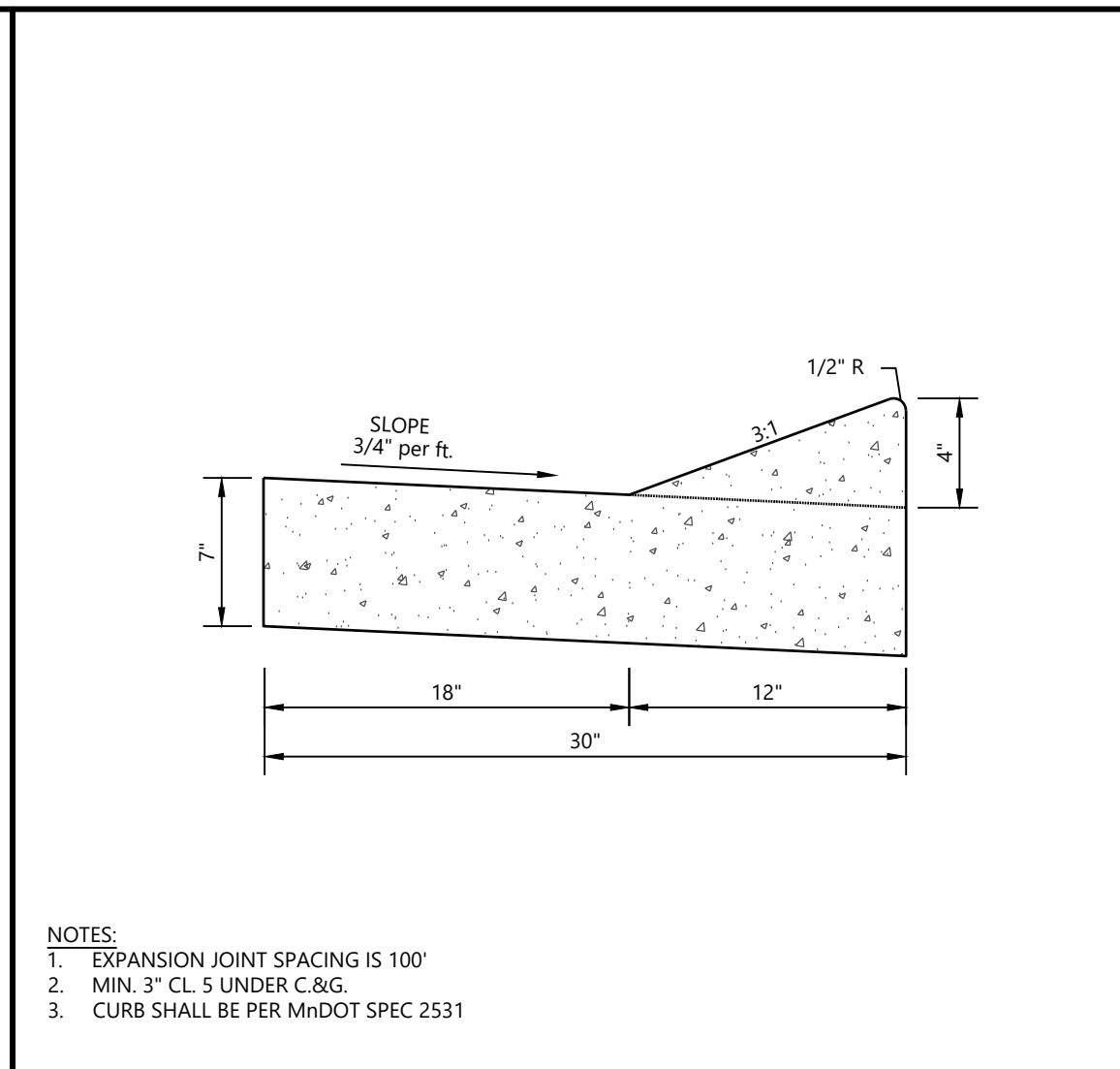
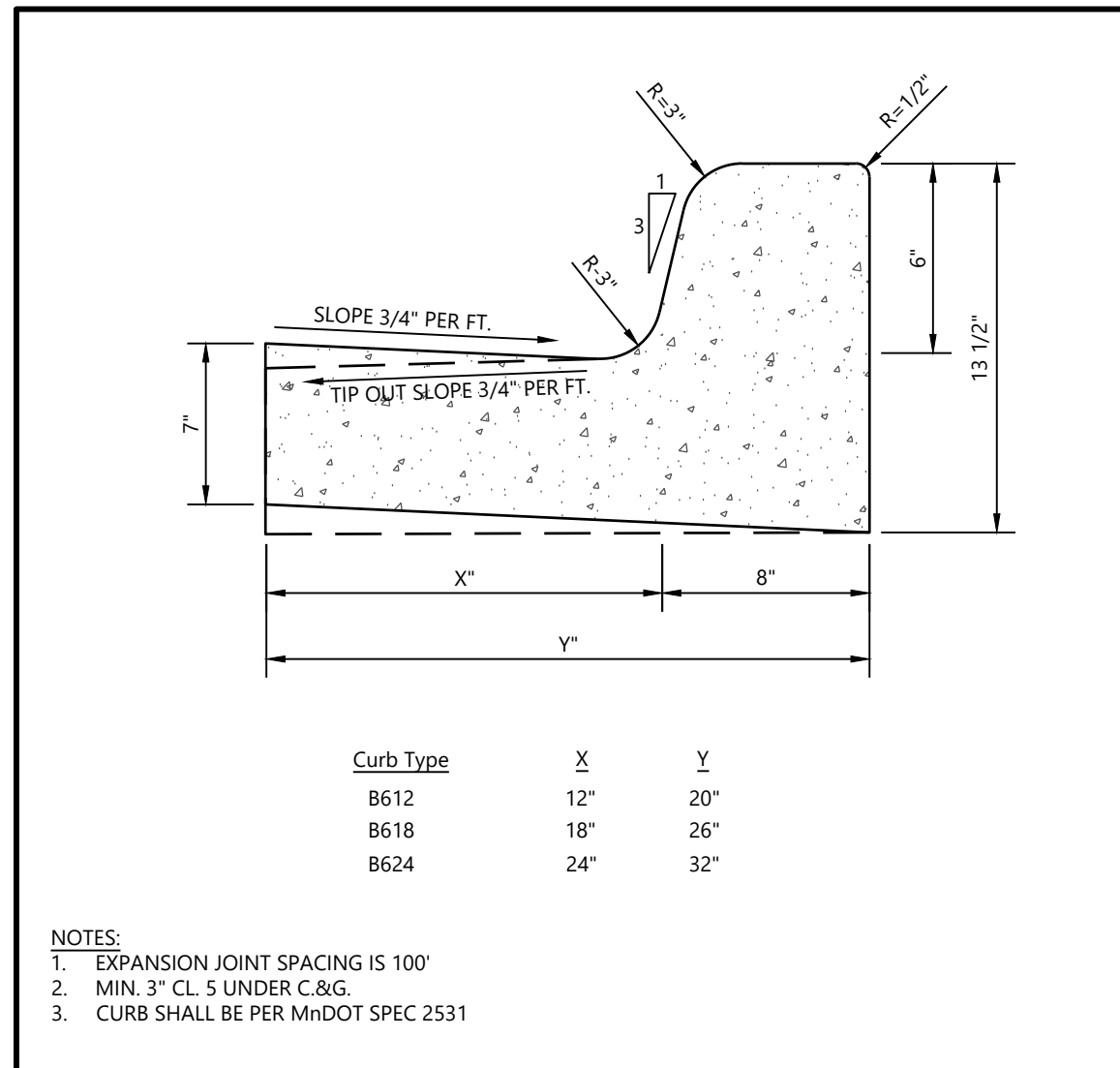
JPB LAND, LLC.
 13700 REIMER DRIVE N., SUITE 110
 MAPLE GROVE, MN 55311

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA
 CHRISTIAN FROEMKE
 DATE: 08/11/25 LICENSE NO. 56208

LAKE GOLF ESTATES 3RD ADDITION
 HOWARD LAKE, MN

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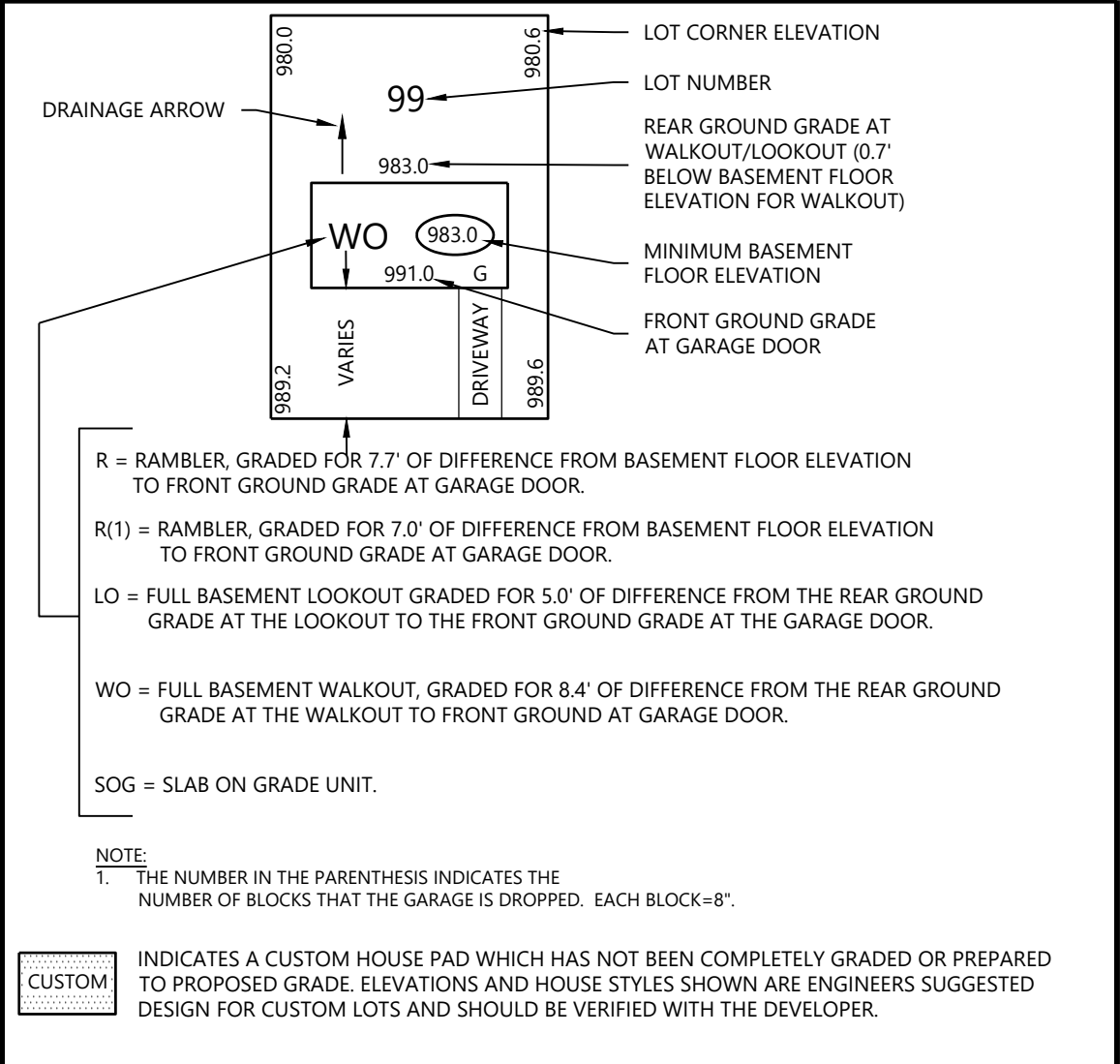
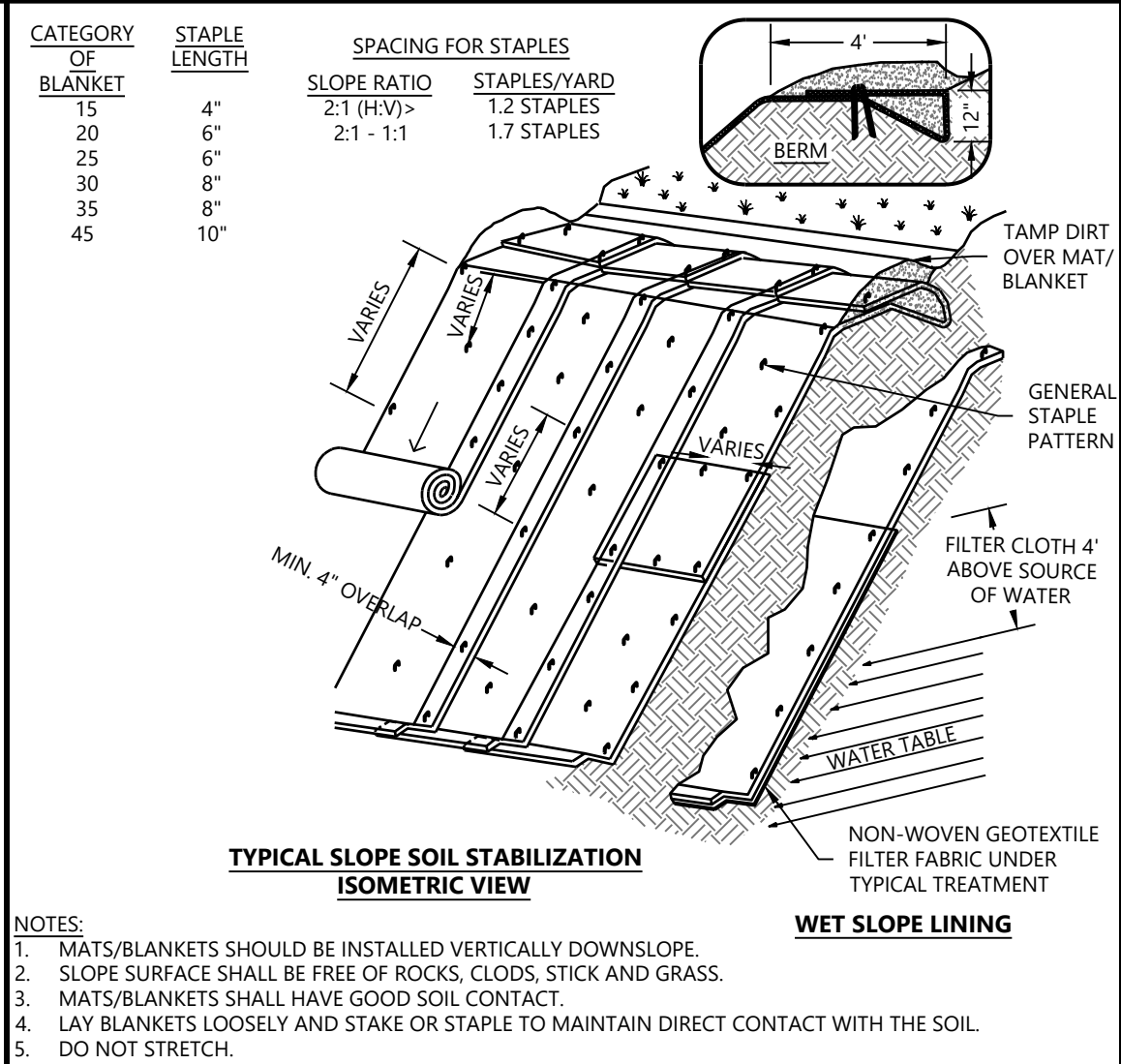
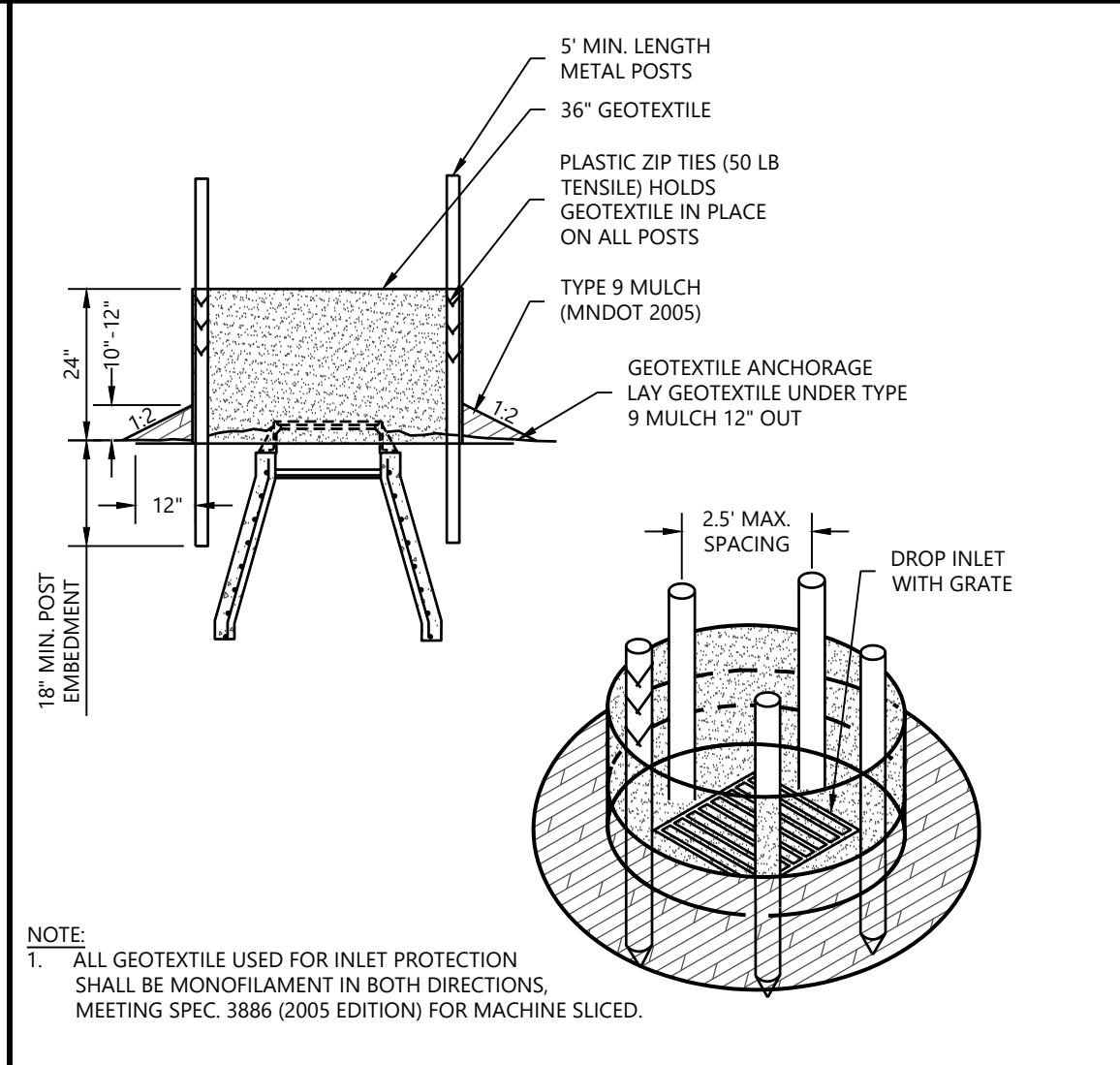
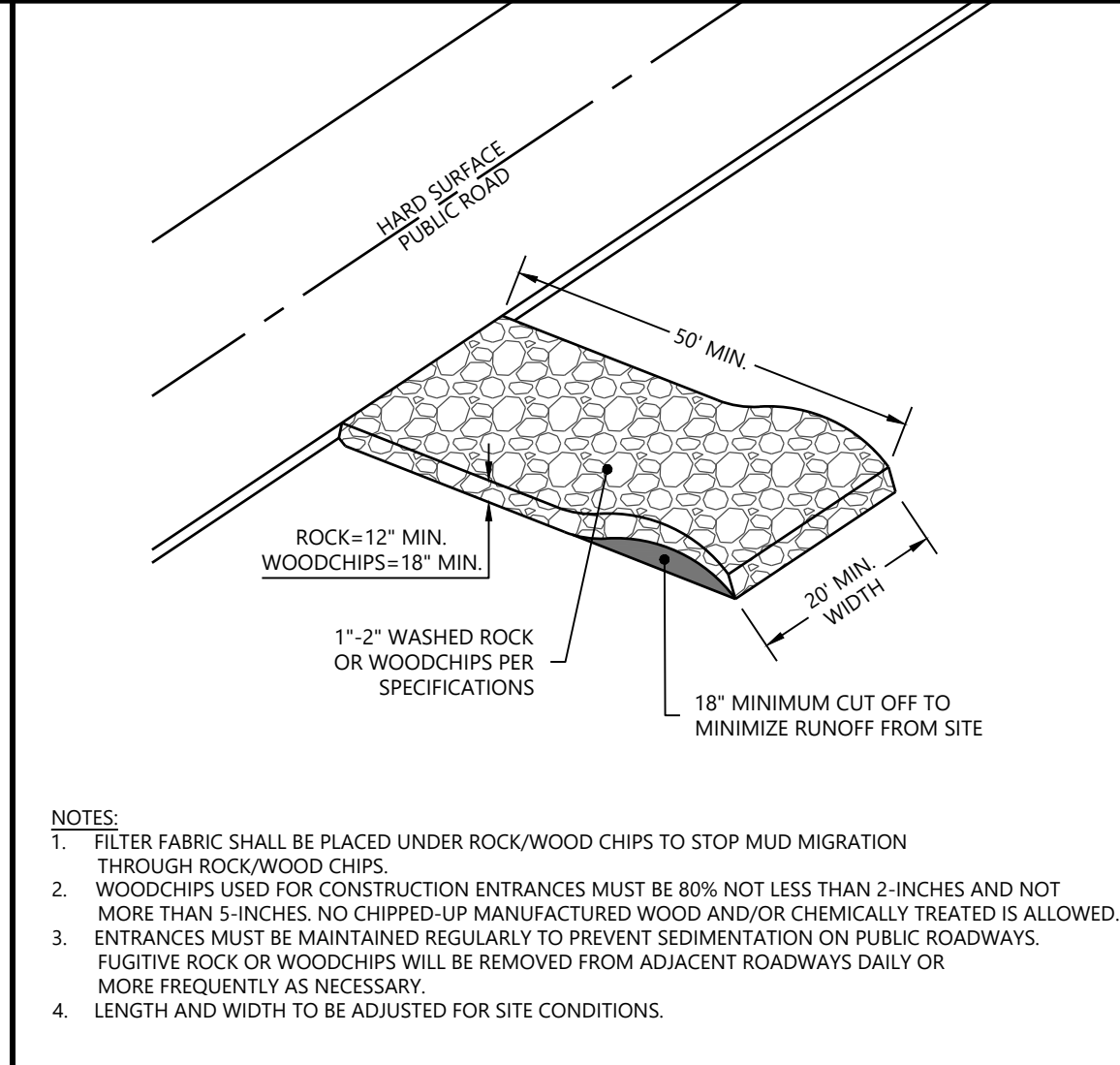
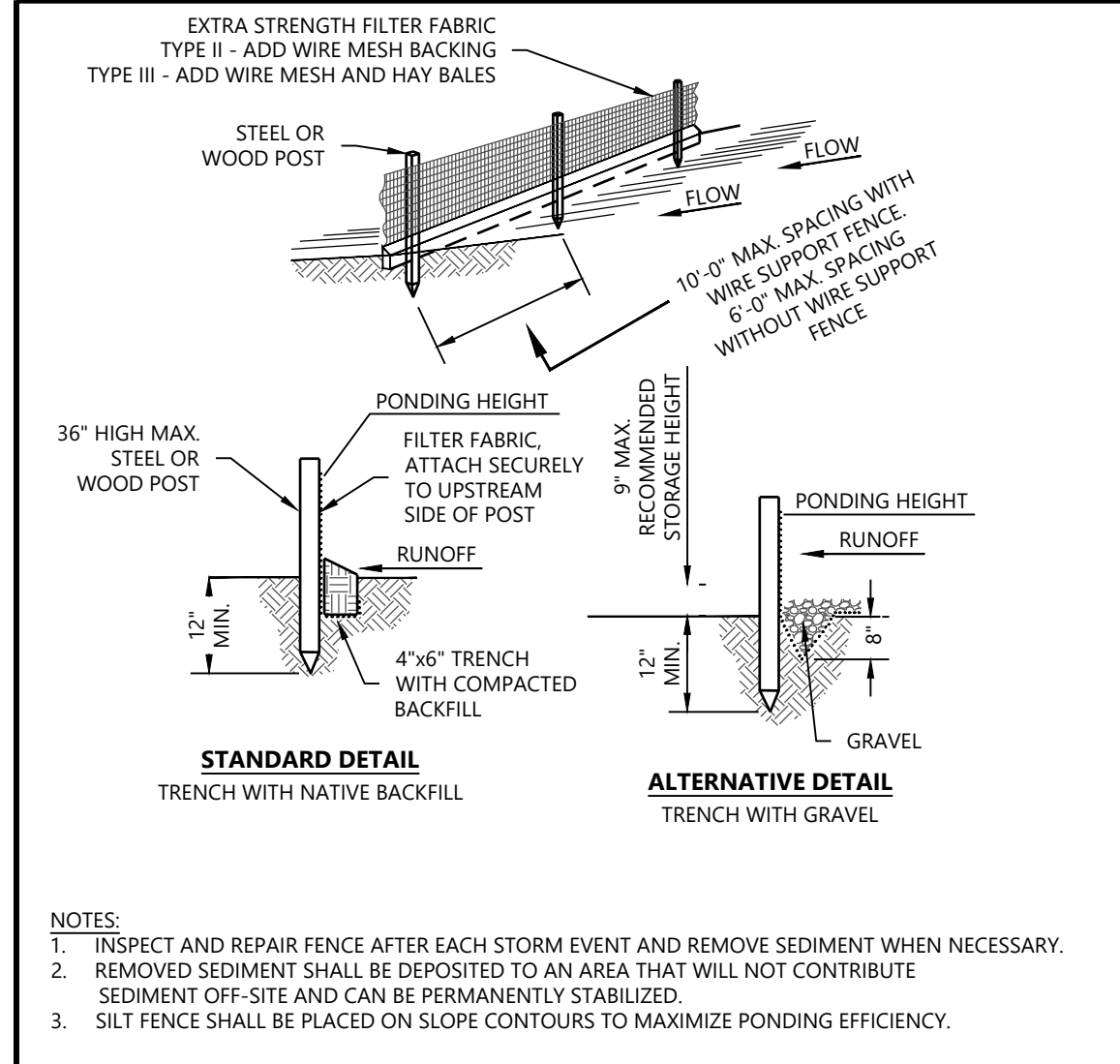
Westwood B6 STYLE CURB AND GUTTER LAST REVISED: 01/09/20 SI01

Westwood D418 CURB AND GUTTER LAST REVISED: 08/15/17 SI03

Westwood CONCRETE CROSS GUTTER LAST REVISED: 08/15/17 SI06

Westwood SIGN POST INSTALLATION LAST REVISED: 11/16/2023 SI14

Westwood TYPE 3 BARRICADE LAST REVISED: 08/15/17 SI17



Westwood SILT FENCE LAST REVISED: 08/15/17 GD02

Westwood CONSTRUCTION ENTRANCE LAST REVISED: 08/15/17 GD05

Westwood SILT FENCE RING ROCK BARRIER COMBINATION LAST REVISED: 08/15/17 GD15

Westwood TEMPORARY EROSION BLANKETS TURF REINFORCEMENT MATS FOR SLOPES LAST REVISED: 04/20/21 GD21

Westwood TYPICAL LOT LAST REVISED: 08/15/17 GD25A

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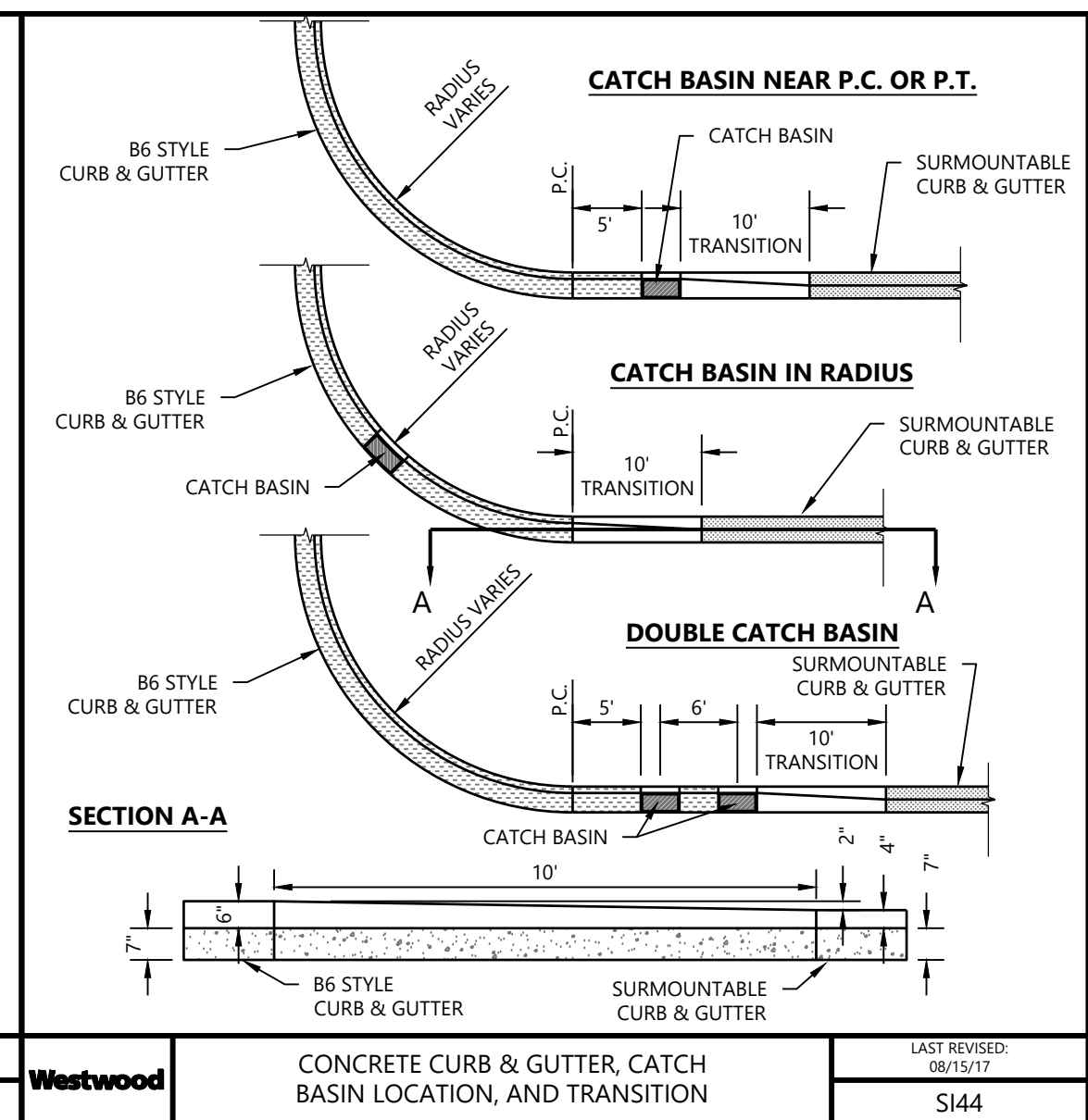
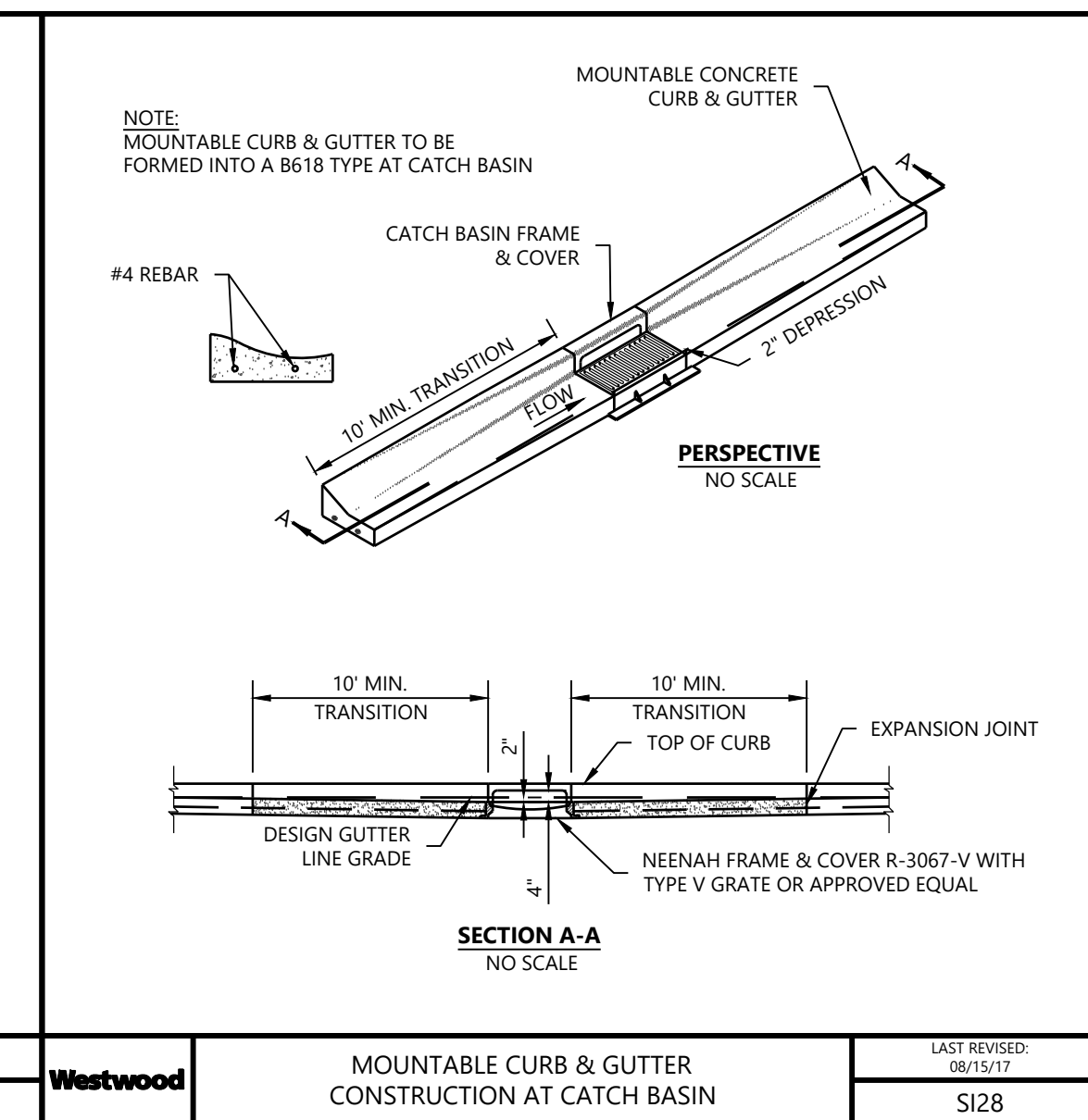
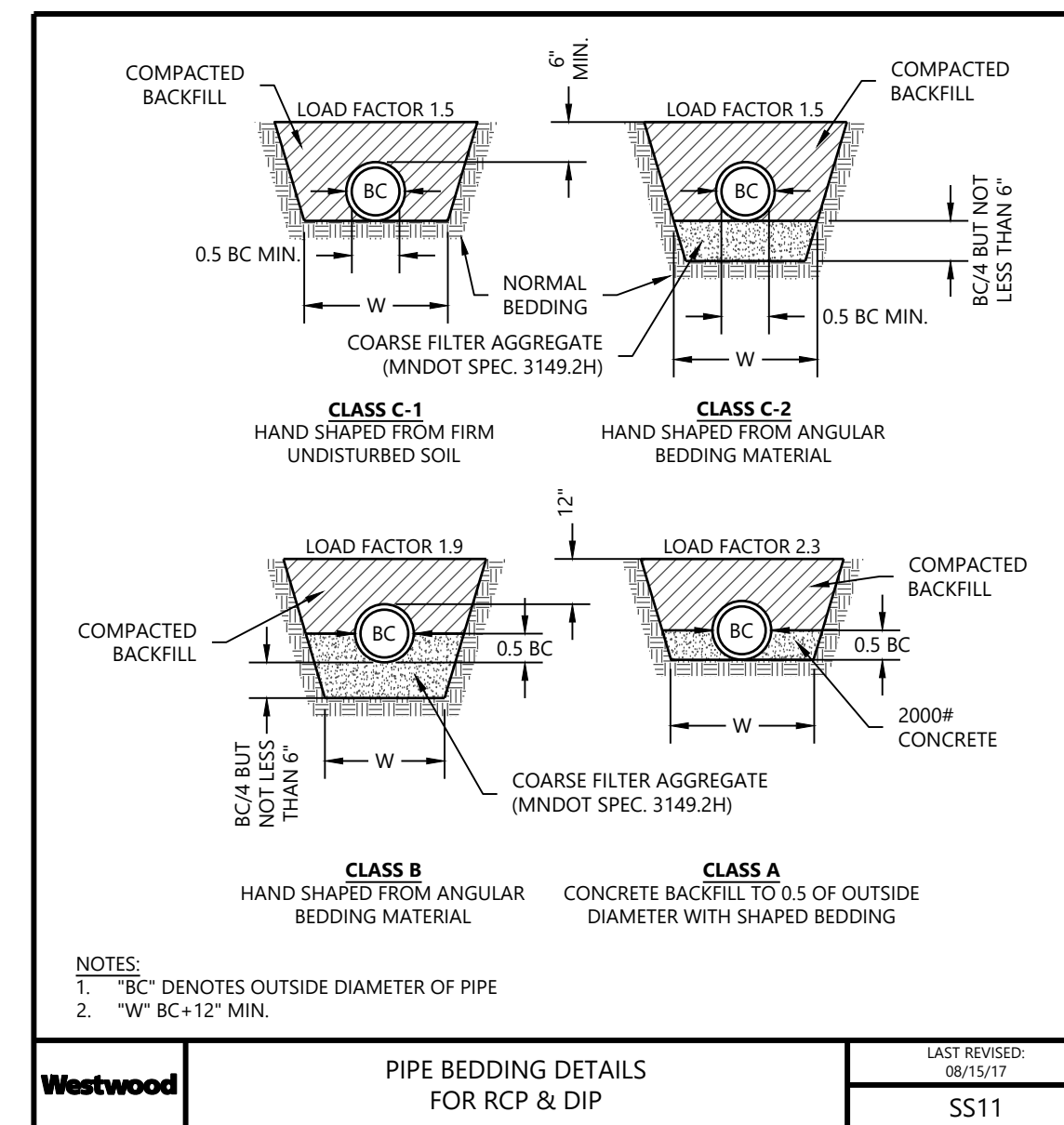
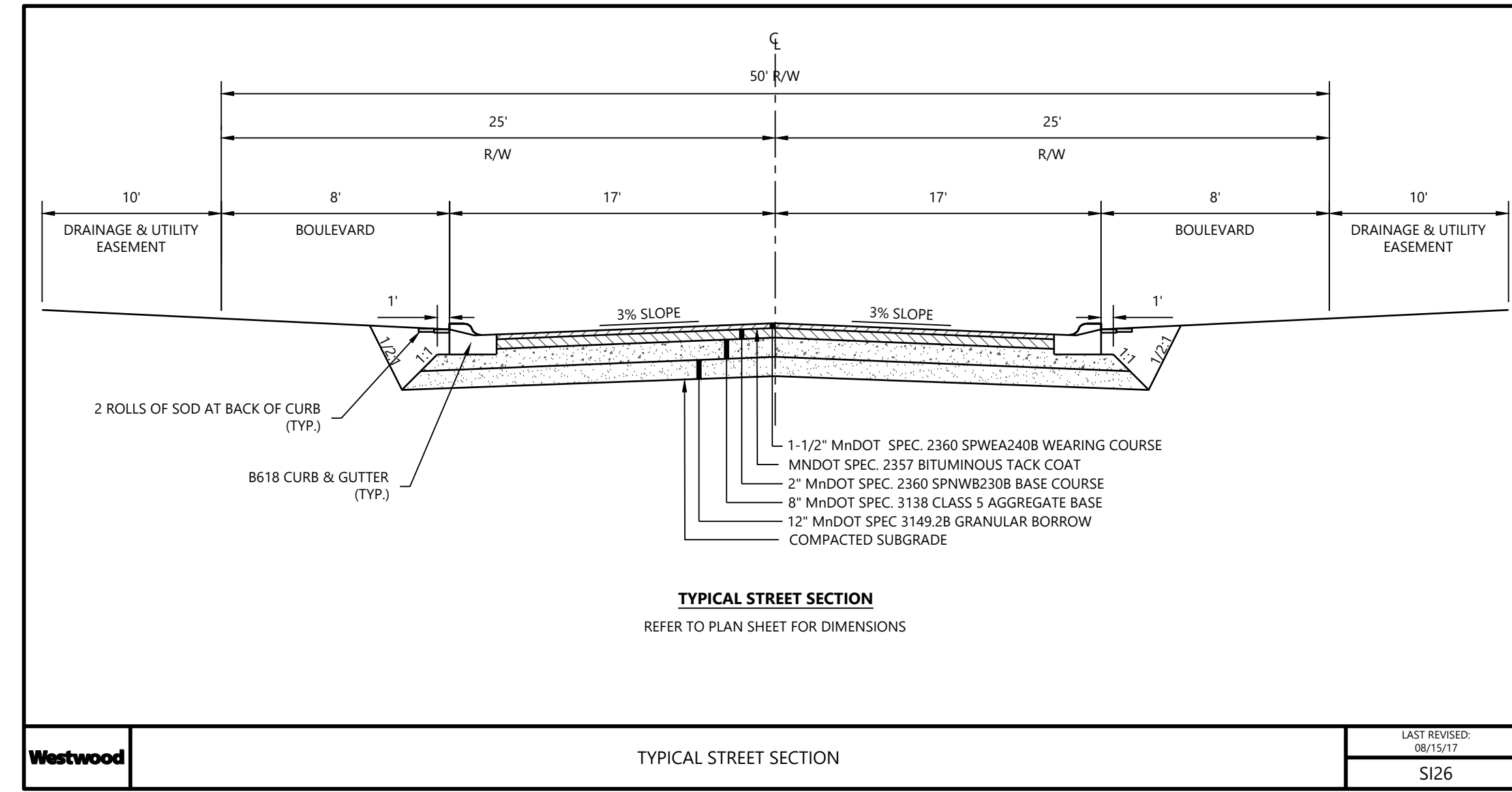
PREPARED FOR:
JPB LAND, LLC.
 13700 REIMER DRIVE N., SUITE 110
 MAPLE GROVE, MN 55311

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CHRISTIAN FROEMKE
 DATE: 08/11/25 LICENSE NO. 56208

LAKE GOLF ESTATES 3RD ADDITION
 HOWARD LAKE, MN

Westwood
 Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
 Fax (952) 937-5822 Minnetonka, MN 55343
 Toll Free (888) 937-5150 westwoodps.com
 Westwood Professional Services, Inc.

SHEET NUMBER:
10 OF **15**
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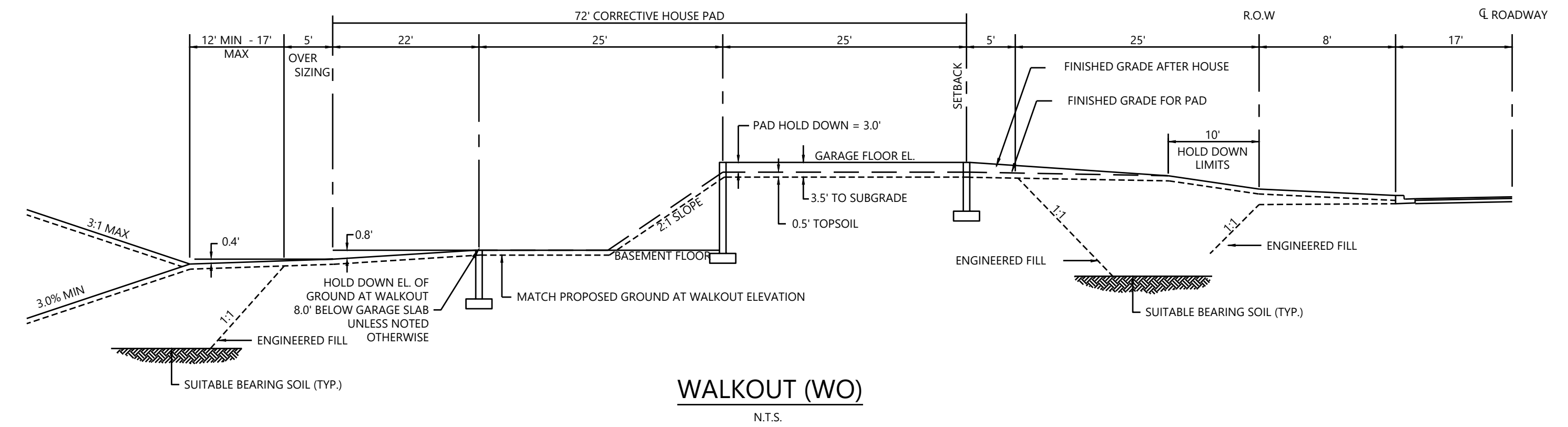
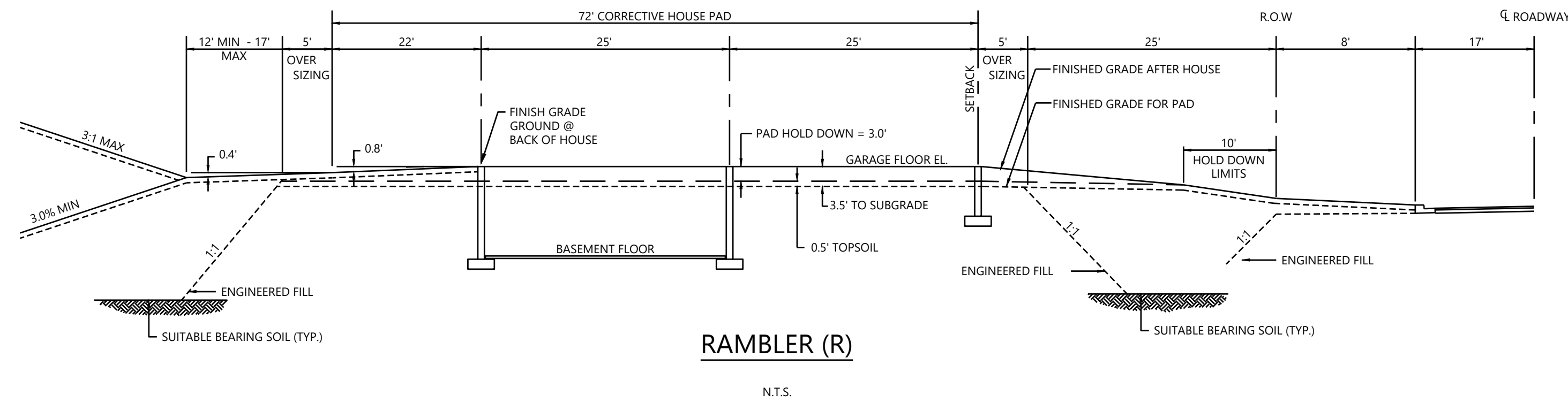
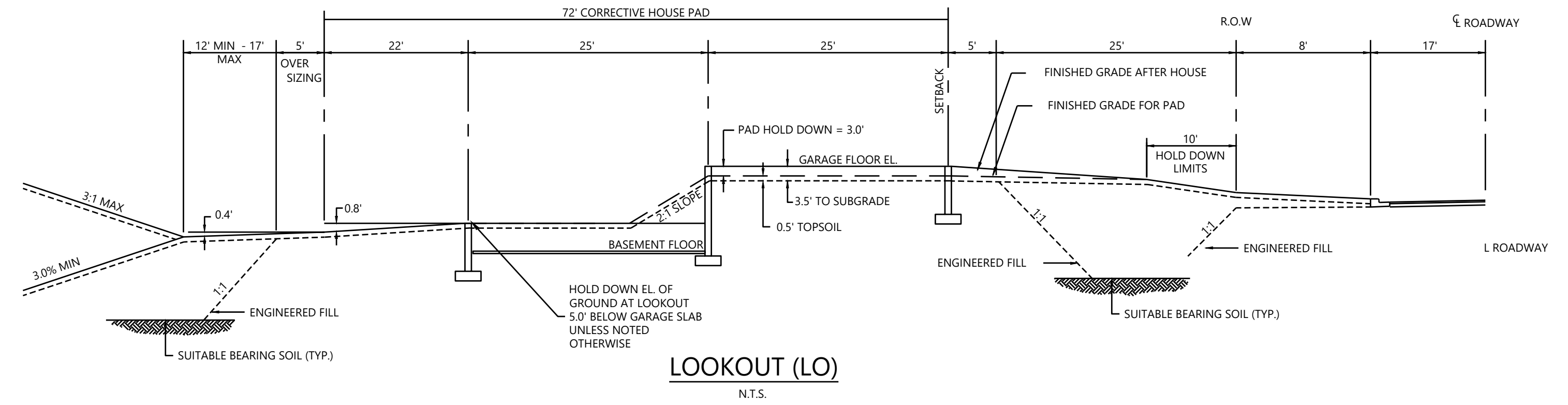
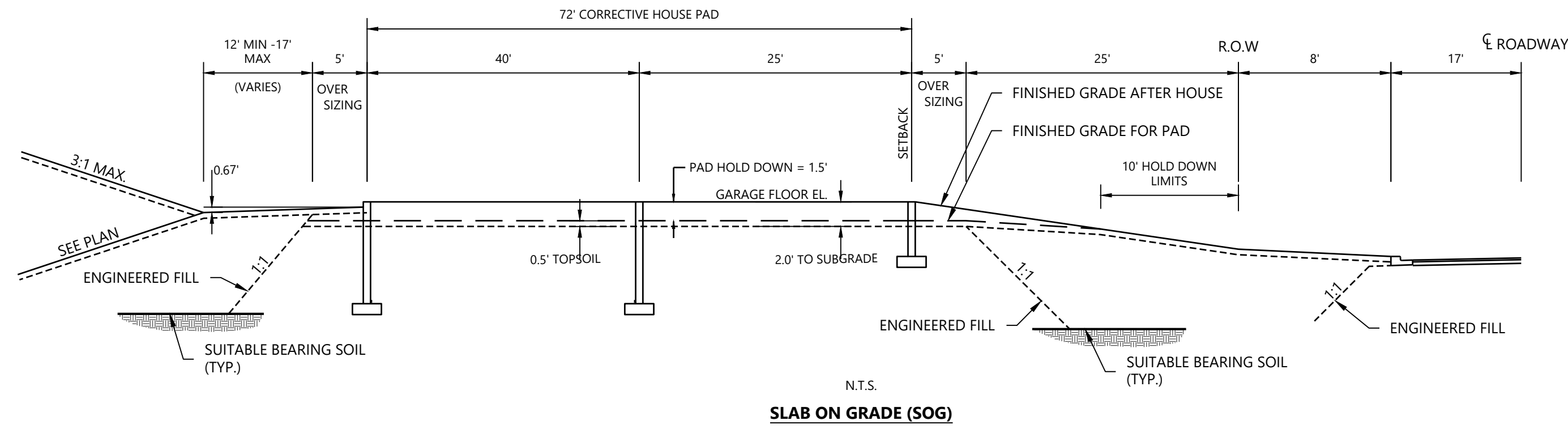
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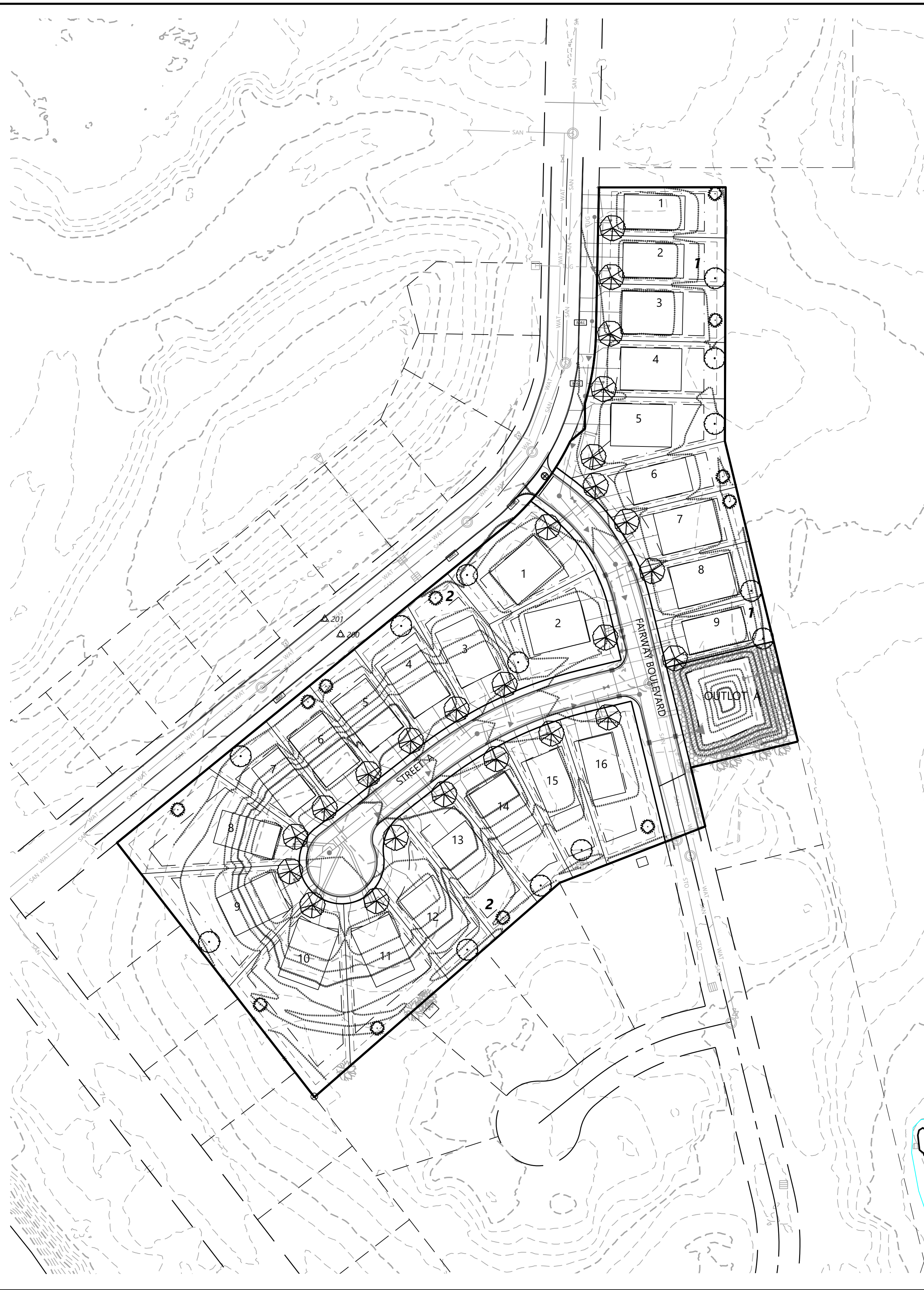
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12 OF 15

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PRELIMINARY PLANT SCHEDULE (DEVELOPER & HOME BUILDER)

CODE	COMMON / BOTANICAL NAME	SIZE	ROOT	SPACING Q.C.	MATURE SIZE
DECIDUOUS TREES - 38					
AGG	AUTUMN GOLD GINKGO / GINKGO BILOBA 'AUTUMN GOLD'	2.5" CAL.	B&B	AS SHOWN	H 50' W 30'
BVL	BOULEVARD AMERICAN LINDEN / TILIA AMERICANA 'BOULEVARD'	2.5" CAL.	B&B	AS SHOWN	H 30'-40' W 25'-35'
FFM	FALL FIESTA MAPLE / ACER SACCHARUM 'BAILSTA'	2.5" CAL.	B&B	AS SHOWN	H 50'-75' W 50'
FYL	FRONTYARD LINDEN / TILIA AMERICANA 'BAILYARD'	2.5" CAL.	B&B	AS SHOWN	H 60'-70' W 30'-40'
HAK	HACKBERRY / CELTIS OCCIDENTALIS	2.5" CAL.	B&B	AS SHOWN	H 50'-75' W 50'
REO	RED OAK / QUERCUS RUBRA	2.5" CAL.	B&B	AS SHOWN	H 50'-70' W 40'-50'
RIB	RIVER BIRCH / BETULA NIGRA	2.5" CAL.	B&B	AS SHOWN	H 50'-75' W 50'
SGM	SIENNA GLEN MAPLE / ACER X FREEMANII 'SIENNA'	2.5" CAL.	B&B	AS SHOWN	H 40'-50' W 35'-40'
SKH	SKYLINE HONEY LOCUST / GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE'	2.5" CAL.	B&B	AS SHOWN	H 50' W 30'-35'
SWO	SWAMP WHITE OAK / QUERCUS BICOLOR	2.5" CAL.	B&B	AS SHOWN	H 50'-60' W 60'-80'
EVERGREEN TREES - 12					
COF	CONCOLOR FIR / ABIES CONCOLOR	6' HT.	B&B	AS SHOWN	H 40'-50' W 15'-30'
BHS	BLACK HILLS SPRUCE / PICEA GLAUCA DENSATA	6' HT.	B&B	AS SHOWN	H 35'-45' W 20'-25'
NOP	NORWAY PINE / PINUS RESINOSA	6' HT.	B&B	AS SHOWN	H 50'-80' W 30'-40'

ABBREVIATIONS: B&B = BALLED AND BURLAPPED CAL. = CALIPER HT. = HEIGHT MIN. = MINIMUM
 O.C. = ON CENTER SP. = SPREAD QTY. = QUANTITY CONT. = CONTAINER
 NOTE: QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.

LANDSCAPE PROVISIONS & REQUIREMENTS

LANDSCAPING DESIGN REQUIREMENTS -HOWARD LAKE, MINNESOTA

SITE DESCRIPTION

ZONING DISTRICT: R-1A (EXISTING)
 TOTAL GROSS ACRES: 8.08 AC

SINGLE FAMILY REQUIREMENTS		REQUIRED	PROVIDED	NOTES
TWO SHADE TREES PER RESIDENTIAL LOT	25 PROPOSED LOTS x 2 TREES = 50 SHADE TREES	50 SHADE TREES	50 OVERSTORY SHADE TREES 25 DECIDUOUS STREET TREES 13 DECIDUOUS YARD TREES (BY HOME BUILDER) 12 EVERGREEN YARD TREES (BY HOME BUILDER)	DEVELOPERS TO PROVIDE ONE FRONT YARD TREE, WHILE HOME BUILDER TO PROVIDE ONE BACK YARD TREE.

GENERAL NOTES

- TREE LOCATIONS AND SPACING ARE SUBJECT TO CHANGE BASED ON CONSTRUCTED DRIVEWAYS AND UTILITY LOCATIONS.
- STREET TREES SHALL BE PLANTED MIN 20' FROM BACK OF CURB IN A LOCATION THAT DOES NOT INTERFERE WITH INDIVIDUAL SEWER, WATER CONNECTIONS, AND EASEMENTS. NO TREES ARE ALLOWED IN THE RIGHT-OF-WAY (R.O.W.)
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- DECIDUOUS TREES SHOULD BE LOCATED A MINIMUM OF 5' OFF ANY UTILITY PIPE AND CONIFEROUS TREES SHOULD BE LOCATED A MINIMUM OF 15' OFF ANY UTILITY PIPE.
- NO TREE SHOULD BE LOCATED WITHIN 10' OF A HYDRANT OR 15' FROM A STREETLIGHT.
- NO DECIDUOUS TREE WITHIN 5' OF A SIDEWALK OR TRAIL AND NO CONIFEROUS TREES WITHIN 15' OF A PROPOSED SIDEWALK OR TRAIL.

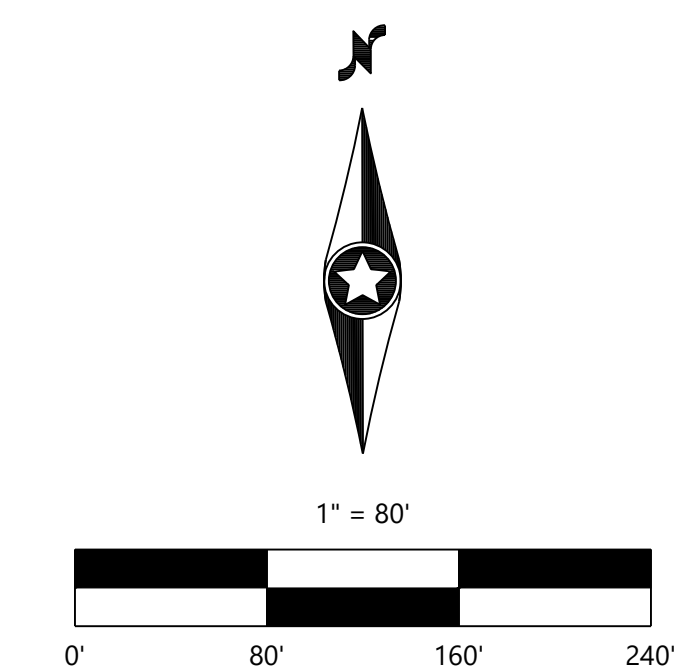
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GROUNDCOVER LEGEND

- MNDOT SOUTHERN TALLGRASS ROADSIDE (STR) SEED MIX TOTAL AREA (0.1 AC)
- MNDOT WET DITCH (WD) SEED MIX TOTAL AREA (0.1 AC)

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OVERALL PRELIMINARY LANDSCAPE PLAN

PROJECT NUMBER: 0060326.00

SHEET NUMBER:
13 OF **15**
 DATE: 08/11/25



PLANTING NOTES

- CONTRACTOR SHALL CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
- ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL FINAL SPECIES ARE SUBJECT TO AVAILABILITY. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
- ALL PLANTS TO BE SPECIMEN GRADE, MINNESOTA-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS:
ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.
ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES.
ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES.
ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING.
CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
- PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
- PLANTS TO BE INSTALLED AS PER MNLA & ANSI STANDARD PLANTING PRACTICES.
- PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
- PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
- OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
- PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
- WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
- STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.
- THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
- BACKFILL SOIL AND TOPSOIL TO ADHERE TO MN/DOT STANDARD SPECIFICATION 3877 (SELECT TOPSOIL BORROW) AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.
- MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 4" DEPTH OF SHREDDED HARDWOOD MULCH; SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 2" DEPTH SHREDDED HARDWOOD MULCH. MULCH TO BE FREE OF DELETERIOUS MATERIAL AND COLORED RED, OR APPROVED EQUAL. ROCK MULCH TO BE BUFF LIMESTONE, 1 1/2" TO 3" DIAMETER, AT MINIMUM 3" DEPTH, OR APPROVED EQUAL. ROCK MULCH TO BE ON COMMERCIAL GRADE FILTER FABRIC, BY TYPAR, OR APPROVED EQUAL WITH NO EXPOSURE. MULCH AND FABRIC TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
- EDGING TO BE COMMERCIAL GRADE VALLEY-VIEW BLACK DIAMOND (OR EQUAL) POLY EDGING OR SPADED EDGE, AS INDICATED. POLY EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH BASE OF TOP BEAD AT GRADE, FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
- ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. SOD TO BE STANDARD MINNESOTA GROWN AND HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. SEED AS SPECIFIED AND PER MN/DOT SPECIFICATIONS. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN.
- PROVIDE IRRIGATION TO ALL PLANTED AREAS ON SITE. IRRIGATION SYSTEM TO BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRING STARTUP DURING FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE ONE-YEAR WARRANTY ON ALL PARTS AND LABOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE GENERAL CONTRACTOR.
- CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
- REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
- REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
- RAIN GARDEN NOTE: PROVIDE AND INSTALL EROSION CONTROL BLANKET AT RAIN GARDEN AREA SIDE SLOPES AFTER ALL PLANTING HAVE BEEN INSTALLED. BLANKET TO BE ONE SEASON GEOJUTE, MN/DOT CATEGORY 2 (STRAW 1S, WOOD FIBER 1S), OR APPROVED EQUAL. BLANKET TO BE OVERLAPPED BY 12" AND ANCHORED BY SOD STAPLES. PLACE BLANKET PERPENDICULAR TO THE SLOPE. TRENCH IN EDGES OF BLANKET AREA TO PREVENT UNDER MINING. PROVIDE SILT FENCE AT TOP OF SLOPE AS NEEDED. SHREDDED HARDWOOD MULCH TO MATCH OTHER PROJECT PLANTING MULCH. PLACE 4" DEPTH OF MULCH AT ALL PLANTING AND EROSION CONTROL BLANKET AREA (NO FILTER FABRIC). SEE RAIN GARDEN DETAIL FOR FURTHER INFORMATION. RAIN GARDEN TO PROVIDE PROPER INFILTRATION AND DRAINAGE REQUIREMENTS PER ENGINEERS APPROVAL.

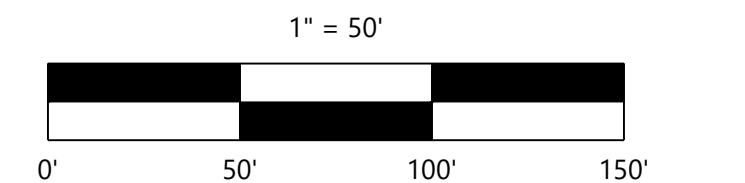
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1" = 50'
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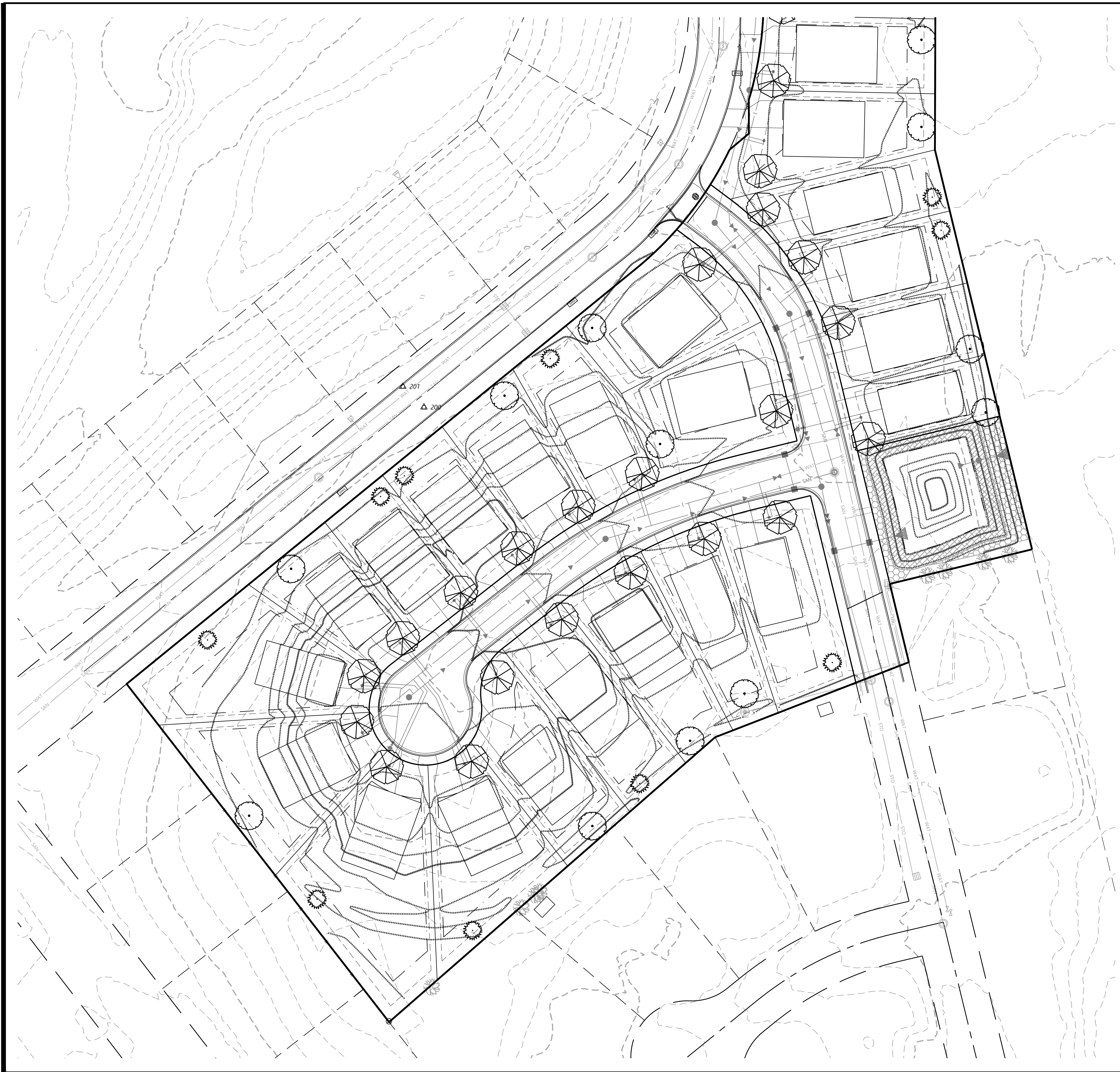
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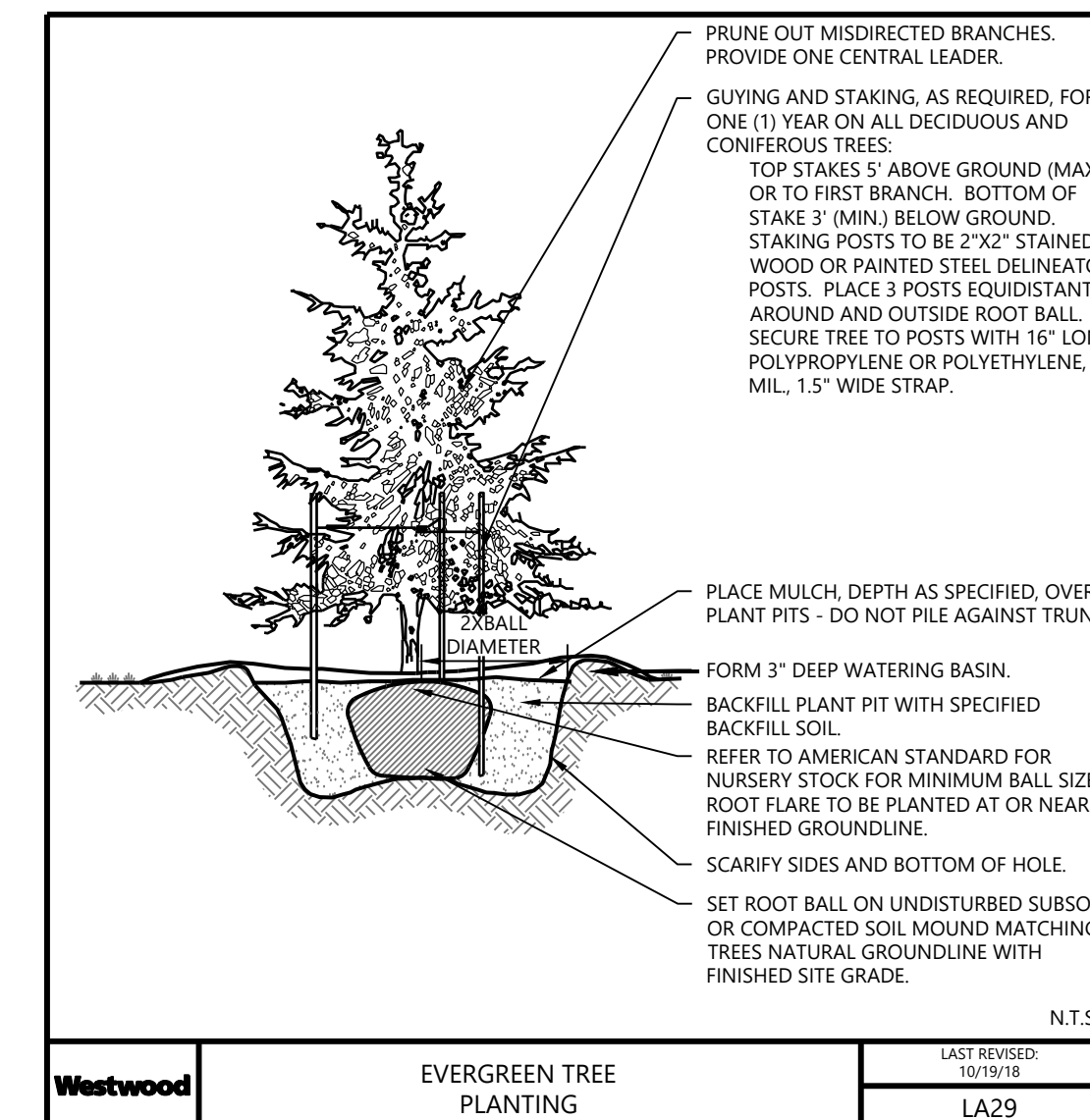
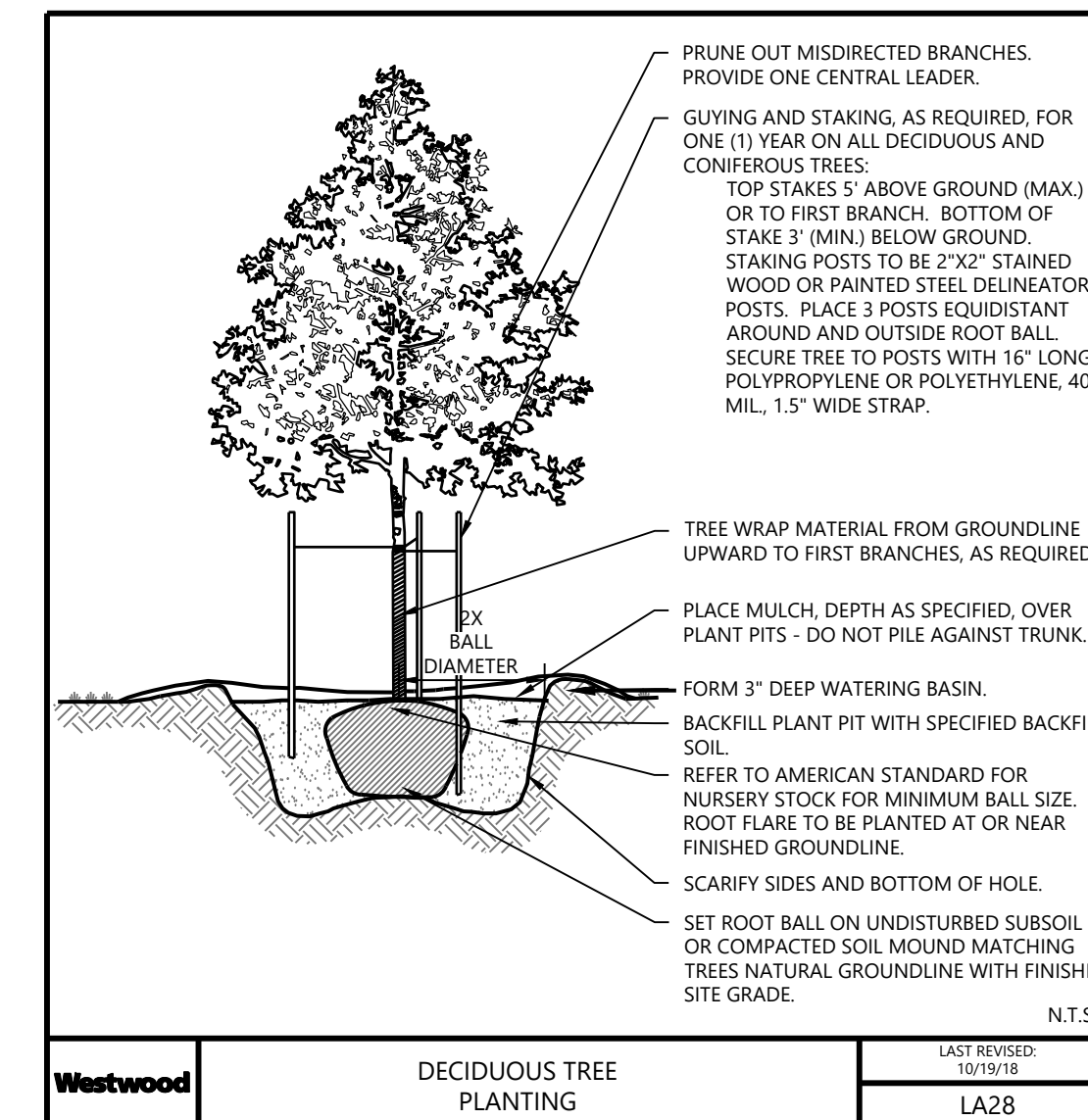
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PRELIMINARY
LANDSCAPE PLAN & NOTES
PROJECT NUMBER: 0060326.00

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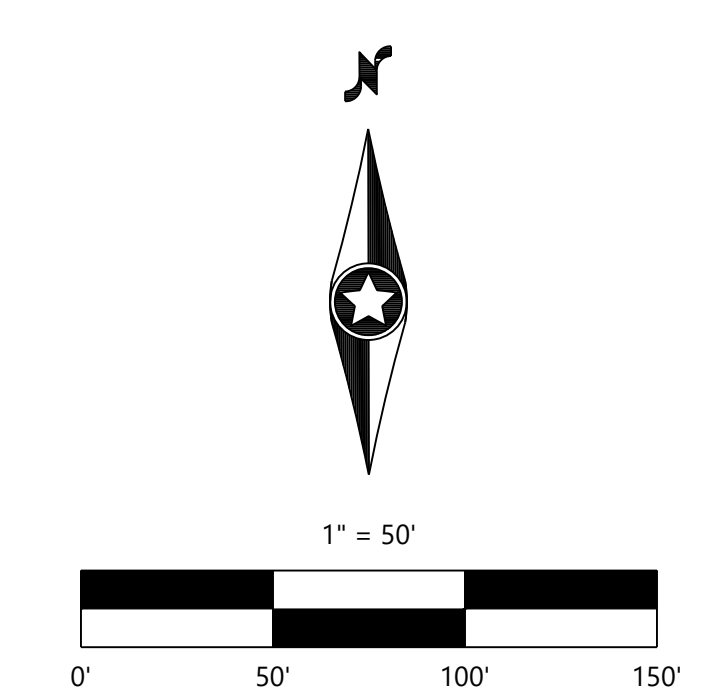
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HOWARD LAKE PARKS & PLANNING MEETING

SEPTEMBER 10, 2025

AGENDA ITEM: 800 5th Ave S Conditional Use Permit Amendment

SECTION: Public Hearing

FROM: Nate Sparks, City Planner

BACKGROUND

Curtis Gruidl has made applications for a conditional use permit amendment to allow for a ___ to be added to the approved site plan of the banquet hall/event center use at 800 5th Avenue South. The CUP was originally approved in 2022 with an amendment for site modifications in 2024.

The applicant is currently seeking an amendment to the CUP to allow for the following changes:

1. Hours of operation
2. Hosting open events
3. Allowing commercial recreation

APPLICANT'S REQUEST

1. Hours of Operation

The current hours of operation for the site are 8am – 11pm indoors with 11am – 7pm outdoors from October through March and then 10am – 9pm outdoors from April through September. The applicant is seeking a modification to have the hours of operation be 11am – 7pm outdoors November through April, and 10am – 9pm outdoors from May – October.

Area	Current	Proposed	What Changes
Indoors (year-round)	8:00 AM – 11:00 PM	<i>Not specified</i> (assumed unchanged)	No change indicated
Outdoors – “Winter”	Oct–Mar: 11:00 AM – 7:00 PM	Nov–Apr: 11:00 AM – 7:00 PM	Winter shifts one month later (drops Oct, adds Apr)
Outdoors – “Summer”	Apr–Sep: 10:00 AM – 9:00 PM	May–Oct: 10:00 AM – 9:00 PM	Summer shifts one month later (drops Apr, adds Oct)

2. Open Events

The applicant is then seeking host ‘Music on the Lake’ days with live music in our designated outdoor activity area within the new hours above. This would include food trucks, alcohol and non-alcohol drink service indoors and outdoors in the designated area.

3. Allowing Commercial Recreation

Then the applicant is also seeking to host groups for pickle ball and golf simulation indoors only. It’s noted that golf simulation has already been occurring periodically without any issue.

4. Additional

Not associated with the present planning commissions considerations (city council only), the applicant is seeking a liquor license. If granted, the clause that requires notification prior to the serving of alcohol on site should be removed from the CUP.

CURRENT CONDITIONAL USE PERMIT

The current CUP allows for banquet hall type events during the hours and times permitted. Adjusting the hours and dates of operation requires an amendment to the CUP. The applicant is also seeking to have “open” events where the general public can attend the site and use the facility which includes the food trucks and commercial recreation element.

ZONING ORDINANCE

The property is zoned B-1, General Business. In this district banquet halls are a conditional use. Therefore, to modify the hours of operation and include ancillary uses, the conditional use permit must be amended.

ANALYSIS

- **Site Plan.** The proposed amendments do no increase the areas being used at the facility. All outdoor activity will take place in the previously designated outdoor activity area.
- **Floor Plan.** The proposed additional uses indoors will occupy areas already accounted for in the floor plan.
- **Parking.** The parking requirements for the site are based on the floor area of the banquet hall. As long as the commercial recreation is not conducted at the same time as events, there is no need to review the parking provisions.

Financial: The applicant has provided the necessary fees for the application.

Legal: If recommended for approval by the planning commission and ultimately, the city council – the CUP language will need to be formally updated by the City Attorney and recorded against the property.

Strategic Plan: Foster a Robust Business Community

PLANNING COMMISSION REVIEW

The Planning Commission is tasked with reviewing the proposal, and making a recommendation to the City Council on the project. The Planning Commission shall consider possible effects of the proposed conditional use. Its judgment shall be based upon, but not limited to, the following factors:

- A. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the Official City Comprehensive Plan.
- B. The proposed use is or will be compatible with present and future land uses of the area.
- C. The proposed use conforms with all performance standards contained in this Code.
- D. The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.
- E. Traffic generation by the proposed use is within capabilities of streets serving the property.

PLANNING COMMISSION ACTION REQUESTED: If the Planning Commission finds that the proposal meets the review criteria, a recommendation of approval would be warranted.

ATTACHMENTS:

- 1. Applicant’s Narrative



GENERAL USE & DEVELOPMENT APPLICATION

Date Filed:

Received By:

Escrow:

Date Completed:

Base Fee:

Instructions: Please read carefully and answer all questions thoroughly. Only complete applications will be accepted after validation by the City Administrator, and prior to acceptance of required processing fees and escrows.

Property Information:

Property Identification Number (PID#)/Zoning District
Street Address

Applicant Information:

Name:

Address:

Telephone:

Business Name:

City/State/Zip:

Email:

Request:

- | | | | |
|-------------------------------------|-------------------------------------|-------------------------------|--------------------------|
| Comprehensive Plan Amendment | <input type="checkbox"/> | Site and Building Plan Review | <input type="checkbox"/> |
| Ordinance Amendment (text or map) | <input type="checkbox"/> | Subdivision Sketch Review | <input type="checkbox"/> |
| Conditional or Interim Use Permit | <input checked="" type="checkbox"/> | Preliminary Plat | <input type="checkbox"/> |
| Administrative Permit | <input type="checkbox"/> | Final Plat | <input type="checkbox"/> |
| Variance /Appeal | <input type="checkbox"/> | Minor Subdivision | <input type="checkbox"/> |
| PUD (concept plan/development plan) | <input type="checkbox"/> | Curb/sidewalk Construction | <input type="checkbox"/> |
| Fence Construction | <input type="checkbox"/> | Construction, placement (ROW) | <input type="checkbox"/> |
| Other: _____ | <input type="checkbox"/> | Sign Construction/Placement | <input type="checkbox"/> |

Description of Request:

Reeds and Kushes would like to host live music in our lakeside grounds area. This would include sale of alcoholic beverages and food trucks. During the warm months May - October, between the hours of ~~open~~ 1pm to 9pm. During winter months we have a pickleball area and golf sim area inside of the building.

Please attach any additional information pertaining to the above requests.

APPLICATION FEES AND EXPENSES: The undersigned agree that all fees and expenses incurred by the City for the processing of this application, including costs for professional services, are responsibility of the applicant and property owner to be paid immediately upon receipt or the City may approve a special assessment for which the property owner specifically agrees to be assessed for 100 percent per annum and waives any and all appeals under Minnesota Statues 429.81. All fees and expenses are due whether the application is approved or denied.

Applicant: Curtis Gwidl Date: 8/15/25

Property Owner Curtis Gwidl Date: 8/15/25

I, the undersigned, hereby apply for the considerations described above and declare that the information and materials submitted in support of this application are in compliance with adopted City policy and ordinance requirements and are complete to the best of my knowledge.

I understand that this application will be processed accordance with established City review procedures and Minnesota Statues 15.99 at such time as it is determined to be complete. Pursuant to Minnesota 15.99, the City will notify the applicant within fifteen (15) days from the filing date of any incomplete or other information necessary to complete the application. Failure on my part to supply all necessary information as requested by the City may be cause for denying this application.

Applicant: Curtis Gwidl Date: 8/15/25

Property Owner Curtis Gwidl Date: 8/15/25

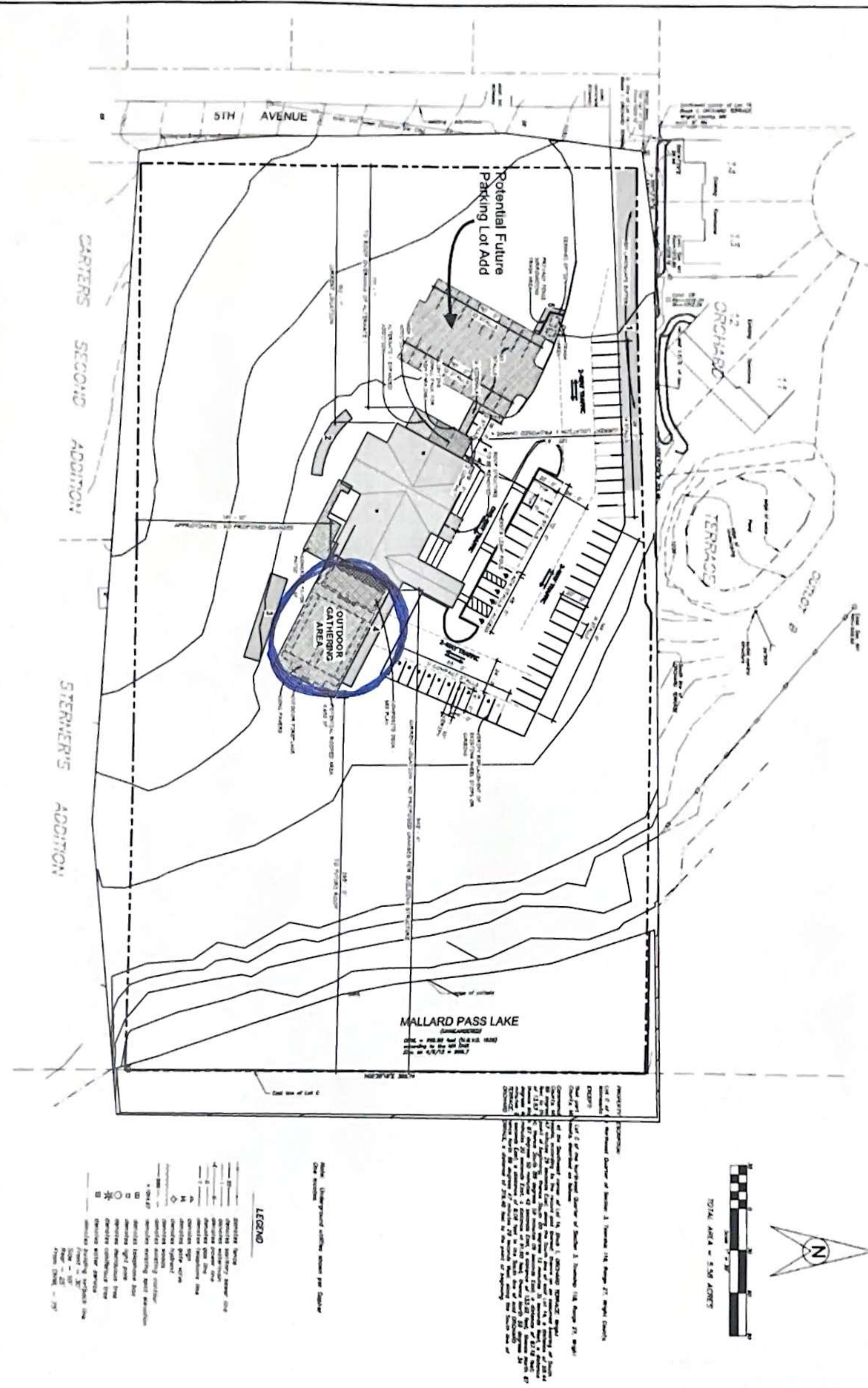
For Office Use only:

Proposed Planning Commission Date: _____ Proposed Council Date: _____

Approval: Planning Commission Approval Date: _____ City Council Approval Date: _____

PROPOSED LANDSCAPING		PROPOSED PARKING		PROPOSED IMPERVIOUS SURFACE AREA	
1	(O) LILAC BUSHES - SIZE SPACING VARIETY TBD	CURRENT PARKING: 51 STALLS • 42 STANDARD STALLS (8' X 20') • 9 COMPACT STALLS (6' X 8') • 176 MAY 2008 PER 01-24141(B) • 4 ADA STALLS (8' X 10) REQUIRED • MEN STALLS: 20 STALLS	EXISTING EXISTING ASPHALT: 20,850 SF EXISTING CONCRETE APRON AND WALKWAYS: 2,500 SF EXISTING BUILDING ROOF AREA: 1,456 SF • (LESS ROOF AREA TO BE REMOVED) TOTAL: 24,806 SF 16.7% OF 5.56 ACRES (249,069 SF)	PROPOSED NEW NEW ADDITION: 776 SF (INCLUDES ALTERNATE SIZE) NEW PARKING: TRASH • SIDEWALK: 6,650 SF NEW CONC. PAVEMENT PATIO: 700 SF NEW PATIO/PAVER AREA • OUTDOOR GATHERING/ POTENTIAL COVERED OUTDOOR AREA: 4,630 SF TOTAL: 12,756 SF 5.2% OF 5.56 ACRES (249,069 SF)	GRAND TOTAL IMPERVIOUS WITH IMPROVEMENTS: 51,862 SF/21.3%
2	(A) BUSH VARIETY - SIZE LOCATION VARIETY TBD (B) BLACK DOG BERRY	GRAND TOTAL 71 STALLS			
3	(F) LILAC BUSHES - SIZE SPACING VARIETY TBD				
4	NATIVE GRASSES				
5	NATIVE GRASSES/PERENNIALS				

Certificate of Survey & Topographic Survey



ARCHITECTURAL SITE PLAN

denotes iron monument found
 denotes iron pipe set and marked as shown
 denotes soil boring
 denotes perc test hole

Certificate of Survey & Topographic
 Survey of part of Lot C of the
 NW 1/4 of Section 3,
 Township 118, Range 27,
 Wright County, Minnesota

Requested by
Howard Lake Christian Church

Date: 4/6/12 Drawn By: C.S.O. Scale: 1"=30' Checked By: P.E.O.

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

OTTO ASSOCIATES
 Engineers & Land Surveyors, Inc.
 9 Wood Outreach Street
 Duluth, MN 55813
 (763) 602-4222 Fax: (763) 602-4022

Job No: 1-12-0166

**REEDS AND RUSHES
 EVENT CENTER**
 800 5th Ave
 Howard Lake, MN

CUP SUBMITTAL
 1/28/2021
 NOT FOR
 CONSTRUCTION

ARCHITECTURAL SITE
A0.1

IN-SITE architects
 415 W. 10th St.
 Duluth, MN 55812
 (763) 602-4222
 Fax: (763) 602-4022



HOWARD LAKE PARKS & PLANNING MEETING

SEPTEMBER 10, 2025

AGENDA ITEM: Introduction to MN Lettuce Cannabis Dispensary/Retailer

SECTION: New Business

FROM: Nick Haggemiller, City Administrator

Background: Following the legalization of recreational cannabis sales and use in Minnesota, a lottery was held for prospective business owners to establish retail dispensaries. An application was received and public hearing set for a proposed dispensary at 1100 6th Street. However, due to the publishing error and the applicant needing additional time to finalize application submittals.

For the purposes of this meeting, this will serve as an introduction to the business similar to how the planning commission reviews high level concept plans. Provide an opportunity for public comment that can further assist the planning commission and applicant in the review process as it moves forward.

- Introduction and Background [MN Lettuce Representative]
- Public Comment/Question
- Planning Commission Comment/Question/Discussion

Next steps: For an application to be considered complete and ready for review, the ordinance requires the following:

- Application Fees + Escrows
- Zoning conformity
- Security plan
- Interior/Exterior floor plans
 - Location and type of Cabinets
 - Location and type of Safes
- Bathroom facilities
- Security measures/seperation between tenancies
 - Parking plan
 - Signage plan
- OCM License verification
 - Contract or legal documentation between Best Buds & MN Lettuce
- Hours/days of operation
- List of products to be sold and quantities

At this time, the applicant is working expediently on finalizing these materials. The intention is to use feedback, comments, questions provided at this discussion to further solidify their general application.

Financial: Open

Legal: The City has adopted a required ordinance regulating cannabis sales provided they meet the State of Minnesota's legal requirements for selling as well as local considerations (primarily around zoning, business operation details and site security/safety).

Strategic Plan:

1. Ensure a safe, healthy community.
 2. Foster a robust business community and downtown.
-

PLANNING COMMISSION ACTION REQUESTED: Discuss

ATTACHMENTS: Open