

AGENDA

A. Call to Order

B. Approval of Agenda

Any additions, deletions, modifications to the agenda will be done at this time.

- a. Consider Approving Minutes from the June 9, 2026 Parks and Planning Meeting

C. Presentations, Public Hearings & Related Approvals

- a. Public Hearing Lake Golf Third Additional Preliminary Plat & Planned Unit Development

D. New Business

- a. Consider Recommending Approval of Lake Golf Third Addition Preliminary Plat & Planned Unit Development to the City Council
- b. Consider Recommending Terning Trails Twinhomes Concept Plan to the City Council

E. Old Business

F. Adjourn

The will adjourn to a Workshop following the regular meeting.

MEETING MINUTES

**CITY OF
HOWARD LAKE**

— Est. 1878 —

JUNE 9, 2026

Call to Order

Call to order at 6:00 pm.

Present - Chair April Debner, Vern Kleve, Molly Hibbard, Neil Weber, Jason Deiter, Dave Marks

Absent - Gene Gilbert

Approval of Agenda

Commissioner Kleve moved to approve the agenda as presented, the motion was seconded by Commissioner Hibbard and passed unanimously.

Presentations, Public Hearings & Related Approvals

New Business

- a. **Consider Request to Purchase and Install Historical/Memorial Signage at Memorial Park.**

Karen Erickson addressed the Parks and Planning Commission in regards to installing a Historical/Memorial sign at Memorial Park.

The Parks and Planning Commission stated that they need more information on costs of the project, as we believe the costs received by Erickson are for only the signs - not for the pergola holding the signs.

They would also like more information on what is to be included on these signs before recommending this project for approval.

- b. **Consider Update and Request to Parks and Planning Commission from Orphans Baseball.**

Discussion item was moved up due to first presenter running behind.

Chad Burau and Shane Heber, of the Howard Lake Orphans baseball team, addressed the Parks and Planning Commission on various repair needs for the Memorial Baseball Field. They have a private donor who is willing to contribute up to \$100,000 to the baseball field itself and the Orphans also hope to fundraise an additional \$50,000 and would like the City to consider a match.

Current needs include about \$3,500 in electrical work and fencing for about \$35,000.

The Parks and Planning Commission moved to recommend the City contribute up to \$50,000 to go toward the fencing and electrical needs, with the Orphans providing the

quotes to the City.

The Commission further recommended that Chad Burau and Shane Heber meet with City staff to develop a comprehensive improvement plan and obtain additional quotes for the backstop and grandstand repairs. This information will help establish project priorities and provide cost estimates for consideration during upcoming budget discussions.

Old Business

Adjourn

Meeting adjourned at 7:20 pm.

PUBLIC HEARING NOTICE City of Howard Lake

July 10, 2026



NOTICE IS HEREBY GIVEN that the City of Howard Lake Planning Commission will be holding a public hearing on July 15, 2026 at 6:00 pm. The public hearing will be conducted at the Howard Lake Library at 817 8th Avenue in Howard Lake. An additional hearing will be held by the City Council on July 21, 2026 at 7:00 pm at City Hall at 625 8th Avenue.

The purpose of the public hearing is to consider a planned unit development and preliminary plat south of Ingram Avenue South and at the northern terminus of Fairway Boulevard. The proposal is to place 25 single family lots on the 8 acre property which is Outlot C of Lake Golf Estates. The planned unit development will allow for reduced lot widths. This is a slightly modified version of the preliminary plat that was reviewed by the City in 2025.

All interested parties are encouraged to attend the public hearing. Additional information regarding the hearing may be obtained by contacting the City of Howard Lake at 625 8th Avenue, Howard Lake, MN 55349 or (320) 543-3670.

Published in the Herald Journal,

July 10, 2026. |



HOWARD LAKE PARKS & PLANNING MEETING

July 15, 2026

AGENDA ITEM: Lake Golf Third Addition Preliminary Plat & Planned Unit Development

SECTION: Public Hearing

FROM: Nate Sparks

PLANNING COMMISSION ACTION REQUESTED:

ATTACHMENTS:

1. Applicant's Narrative
2. Preliminary Plat Plan Set

BACKGROUND

Cavaliera Homes has made an application for a preliminary plat and planned unit development for Lake Golf Estates Third Addition. Lake Golf III was preliminary platted in the past as a single family neighborhood. The preliminary plat approval is expired and the applicant is seeking to obtain approval of a slightly revised preliminary plat to place 25 single family lots on the property. The site is 8.1 acres in size. The project will also have a planned unit development zoning overlay to allow for a mix of single family housing types. A similar application was reviewed in 2025 from JPB Land. However, that application was withdrawn.

COMPREHENSIVE PLAN

The Comprehensive Plan is the ultimate guide of what property can be utilized for in the City. The City's Comprehensive Plan (Land Use Plan) guides the subject site for a Low Density Residential Land Use. This designation governs the intensity of use allowed for the property, based on the context of the site. This allows for single family residential land uses up to four units per acre. At 8 acres, the site could have up to 32 units. The development proposed is 25 units at 3.1 units per acre. The Comprehensive Plan ensures that the site can handle this intensity of use, based on traffic volumes and utility service provision.

ZONING ORDINANCE

The property is zoned R-1A, Contemporary Existing Lot Single Family Residential District, which is a single family zoning designation. This District requires lots to be 85 feet wide, 125 feet deep, and 10,500 square feet in area. Setbacks are required at 30 front, 10 side, 30 corner, and 25 rear. The maximum impervious surface is 35%.

The property is also partially in the Shoreland District. The Shoreland District requires lots to be 10,000 square feet in area and has a maximum impervious surface of 25%.

Planned Unit Development. When meeting the density requirements of the Comprehensive Plan, the City may consider alternative zoning standards, known as a planned unit development (PUD). The standards can allow for flexibility in width and area for lots but cannot allow for more lots to be placed on the property than what would otherwise be allowed in the Comprehensive Plan. The City can approve a PUD when the proposal is found to be providing a more efficient subdivision design, allowing for the City to meet policy goals, and other such objectives.

With this proposal, the Applicant is seeking flexibility in the required lot width to allow for a mix of 55 (8 lots) and 65 (17 lots) foot wide lots. The depth of the lots would be increased from the minimum standards to 130 feet, however the lot depth is already set by the previous development plan approved for the site. The side yard setbacks are proposed to be reduced from 10 feet to 7.5 feet.

The Shoreland District requires lots to be 10,000 square feet in area and has a maximum impervious surface of 25%. The Applicant is seeking a Planned Unit Development to allow for the lots. As part of a PUD, the development is permitted the proposed density due to it being in the outer tier of the Shoreland area and not directly on the lake. The impervious surface coverage within the shoreland district is 22%, which is less than the maximum allowed. The DNR approved the previous plan at 33% impervious and now the plan meets the minimum standards.

The overall flexibilities being sought are in exchange for exceeding the minimum required lot depth, exceeding minimum

landscaping requirements, exceeding housing façade standards, and then also modifying the original approved plan to include stormwater management.

The current is partially exceeding the housing façade standards, all examples must include stone veneer across the front façade, different roofing siding along the front façade

The current plan does have a stormwater management plan which includes a stormwater pond on Outlot A, which was not part of the original development plan.

ANALYSIS

Road Configuration. The proposed plan extends Fairway Boulevard to Ingram Avenue, which was from the original development plan.

Right-of-Way Dedication. The road rights-of-way in this area are 50 feet wide, which was approved as part of the original development for the Lake Golf subdivision. This was due to the open space being provided which was the golf course. The proposed development continues this pattern due to the roads connecting to existing rights-of-way.

Street Design. The streets will need to meet the requirements of the City Engineer.

Sidewalks. There are no sidewalks in this area of the City and there would be no existing place for sidewalks to connect. Therefore, the applicant has not proposed any sidewalks in the plan.

Park Dedication. With any subdivision, the City requires park dedication. The City may require parks or trails to be built. In this case, the City's Park Plan does not identify any park needs within the area. Therefore, cash-in-lieu of parkland dedication would be adequate, which is 10% of the value of the land. The original preliminary plat was covered by the park dedication of the original subdivision. Based on the increase in the number of lots from the original approved preliminary plat, 28% of the total cash-in-lieu amount would be required for park dedication.

Landscaping. The applicant has provided a landscaping plan that meets the minimum requirements of the City. This includes two trees planted on each lot.

Architecture. The applicant has provided housing examples. The houses range in size from 1,649 square feet to 2,205 square feet and 3 bedrooms. There are models with 2 and 3 stall garages. The two stall garage options may also have a third stall.

When in a planned unit development and when minimum lot sizes are given flexibility, the City requires developers to provide an enhanced front façade with stone or brick accents, exceeding the minimum standards of the Zoning Ordinance. The developer has provided this on the plans to be incorporated within the PUD approval.

In addition to this, the developer has also provided accent materials on all front facing dormers on the houses. These are either shakes or board and batten type materials. This provides for two architectural enhancements to the front façade. The applicant states that they intend to mix and match the variations on the fronts to create different street facing appearances within the development.

Grading, Drainage, and Utilities. Issues related to grading, drainage, and utilities, including the establishment of easements, is subject to comment and recommendation by the City Engineer. The City Engineer reviews grading and utility plans against the City's engineering and design standards and requires general plan revisions to meet these standards.

As mentioned previously, the Applicant is providing a stormwater management pond. The original plan had ponding within the open space (former golf course). Therefore, the addition of this pond is in addition to the original development plan's requirements.

The City Engineer has provided comments to the applicant.

Development Agreement. As a condition of final plat approval, the applicant will be required to enter into a development agreement with the City and post all the necessary securities required by it. This will ensure that all development construction is done in the manner required by the City. If not, the securities collected will allow for the City to make the necessary adjustments to the site.

PLANNING COMMISSION REVIEW

The Planning Commission is tasked with reviewing the plans, taking public comment, and making a recommendation to the City

Council on the project.

The application is technically two considerations, the Planned Unit Development and the Preliminary Plat.

The Planned Unit Development requires consideration based on being consistent with the purpose of a PUD:

- A. Provide for the establishment of PUD (planned unit development) zoning districts in appropriate settings and situations to create or maintain a development pattern that complies with the City's Comprehensive Plan.
- B. Allow for the mixing of land uses within a development when such mixing of land uses could not otherwise be accomplished under this Article.
- C. Provide for variations to the strict application of the land use regulations in this Article in order to improve site design and operation, while at the same time incorporating design elements (e.g., construction materials, landscaping, lighting, etc.) that exceed the City's standards to offset the effect of any variations.
- D. Promote a more creative and efficient approach to land use within the City, while at the same time protecting and promoting the health, safety, comfort, aesthetics, economic viability, and general welfare of the City.
- E. Preserve and enhance natural features and open spaces.
- F. Maintain or improve the efficiency of public streets and utilities.
- G. Ensure the establishment of appropriate transitions between differing land uses.

The objective is to determine if the PUD generally meets one or more of the purpose statements above. The plan includes an additional stormwater management feature than the original development plan and the proposed housing have stone veneer and architectural features that exceed the minimum requirements of the City's ordinance. It is also consistent with the Comprehensive Plan, as it has only single family dwellings and is under the required 4 units per acre.

The Preliminary Plat has its own set of review criteria found in 17.05-05-01. The Planning Commission may recommend denial and the Council may deny the subdivision if it makes any one or more of the following findings:

- A. That the proposed subdivision is in direct conflict with adopted applicable general and specific comprehensive plans of the City, County, or Region;
- B. That the physical characteristics of this site, including but not limited to topography, percolation rate, soil conditions, susceptibility to erosion and siltation, susceptibility to flooding, water storage, drainage and retention, are such that the site is not suitable for the type of development, development density, design, or use contemplated;
- C. That the design of the subdivision or the proposed improvements are likely to cause substantial environmental damage;
- D. That the design of the subdivision or the type of improvements are likely to cause serious public health problems;
- E. That the design of the subdivision or the type of improvements will conflict with easements of record or with easements established by judgment of a court;
- F. That the proposed subdivision is inconsistent with the policies and standards of the State defined Shoreland Districts and Wetland Districts.
- G. That the proposed subdivision adversely affects the flood-carrying capacity of the floodway, increases flood stages and velocities, or increases flood hazards within the City.
- H. That any lot or block in the proposed subdivision is exceptionally narrow or shallow, or is otherwise of any irregular or unusual shape.
- I. That the subdivision is deemed premature by the conditions outlined in Section 05-04-2 of this Ordinance (lack of adequate utilities or roads to serve the site).
- J. That the subdivision is inconsistent with the provisions of this Ordinance.

None of the above conditions are present provided the applicant meets all the requirements of the City Engineer.

STAFF RECOMMENDATION

Based on the above review, the plan generally meets City requirements. Staff would recommend that the Planning Commission recommend approval of the plan with the following conditions:

- 1. The applicant shall meet all requirements of the City Engineer.
- 2. The applicant shall enter into a development agreement, as drafted by the City Attorney.
- 3. Park dedication shall be provided.
- 4. Houses shall be generally consistent with the plans provided and include the stone or brick accent material and the proposed materials on the dormers

The Planning Commission may wish to make a motion similar to the following:

“Move to approve the PUD based on being consistent with the purpose statement of the PUD Ordinance and the Preliminary Plat based on the criteria found 17.05-05-01.”

Nate Sparks, City Planner
City of Howard Lake
625 8th Ave
Howard Lake, MN 55349

RE: Project Narrative for Preliminary Plat and PUD Application
Single-Family Detached Residential Development

Dear Mr. Sparks,

We are requesting a city review of a Preliminary Plat and Planned Unit Development (PUD) for a 25-lot single-family detached residential development located at Fairway Blvd and Ingram Ave SW in the City of Howard Lake. The PUD designation is requested to allow flexibility on lot size, lot width, and side yard setbacks. The following narrative describes the existing conditions of the subject property and outlines of the proposed project configuration.

Existing Conditions:

Parcel Identification:	109034000030
Parcel Size:	8.1 acres
Existing Zoning Designation:	R-1A Contemporary, Existing Lot Single-Family Residential
Current Owners:	Paul Hockert
Property Address:	N/A

The subject property is located along Ingram Ave SW between Imhoff Ave SW and Fairway Blvd. Fairway Blvd currently terminates at the south/southeast property boundary and is intended to be extended to Ingram Ave SW. The property is currently vacant. It was previously mass graded and seeded with groundcover. There are a limited number of volunteer shrubs and small trees.

Surrounding land uses consist primarily of single-family detached residential lots and a golf course that is currently closed. Howard Lake – the waterbody – is within about 400 feet southwest of the property boundary. Approximately the southern third of the project site falls within the 1,000-foot shoreland overlay district of Howard Lake, which is classified as a General Development Lake.

Existing watermain, sanitary sewer, and storm sewer are located within Ingram Ave and Fairway Boulevard.

Proposed Project

The proposed development includes 25 single-family lots and one outlot containing a stormwater pond. Five lots will be accessed from the existing roadway Ingram Ave. Fairway Blvd will be extended from the existing stub to Ingram Ave and will provide access to six lots. A new 479-foot cul-de-sac roadway will extend from the proposed Fairway Blvd extension

into the site and will serve 14 of the new lots. Both proposed roadways will be dedicated as public right-of-way and constructed to city standards.

The property is currently zoned R1A Contemporary, Existing Lot Single-Family Residential and guided for low density residential land use, which allows up to 4 units / acre. The lot and setback requirements for the R1A zoning district are as follows:

Lot Area: 10,500 sf

Lot Width: 85'

Lot Depth: 125'

Front Setback: 30'

Side Setback: 10'

Rear Setback: 25', or 30' on double frontage lots abutting a public ROW.

A PUD is requested to allow flexibility for minimum lot area, lot width, and side yard setbacks. The proposed development conforms to all other applicable lot and setback requirements of the R1A district. The smallest proposed lot size is 7,930 square feet, and the narrowest lot width is 55 feet. The provided side setbacks are 7.5 feet per side, with a combined total setback of 15 feet. The proposed density is 3.1 units / acre, which is consistent with the City's guided land use designation.

Watermain and sanitary sewer utilities are proposed to be extended along the Fairview Blvd extension and the proposed cul-de-sac roadway. All utilities will be designed and constructed in accordance with City of Howard Lake Standards.

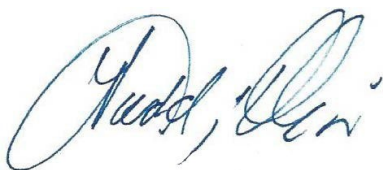
The storm water management system includes collection, conveyance, and treatment, and infiltration components designed to manage runoff generated by the proposed development. Surface drainage will be conveyed to a stormwater infiltration pond located on the eastern side of the site.

Please find the following materials included with this application.

- Signed Development Application
- Civil & Landscape Plan Set
- Stormwater Narrative
- Three proposed Unit types

Please review the application package materials and contact our office with any questions or concerns. We look forward to working with you through the course of review.

Sincerely,

A handwritten signature in blue ink, appearing to read "Todd, Olin".

Land & Resource Consulting, Inc.
Todd J. Olin, President

Lake Golf Estates Third Addition

Howard Lake, MN

Preliminary Plat

June 2, 2026

GENERAL NOTES

- MN statute requires notifications per "State One Call" prior to commencing any grading, excavations or underground work.
- The contractor shall field verify locations and elevations of existing utilities and topographic features prior to commencement of construction activity. The contractor shall notify the engineer of any discrepancies or variations from the plans.
- The contractor shall take all precautions necessary to avoid property damage to adjacent properties during the construction phase of this project. The contractor will be held responsible for any damages to adjacent properties occurring during the construction phase of this project.
- The contractor will be responsible for providing and maintaining traffic control devices such as barricades, warning signs, directional signs, flagman and lights to control the movement of traffic where necessary. Placement of these devices shall be approved by the engineer prior to placement. Traffic control devises shall conform to the appropriate MN Department of Transportation Standards.
- In accordance with generally accepted construction practices, the contractor will be solely and completely responsible for the conditions on the job site, including safety for all persons and property during the performance of the work. This requirement will apply continuously and not be limited to normal working hours.
- The duty of the engineer or developer to conduct construction review of the contractors performance is not intended to include review of the adequacy of the contractors safety measures in, or near the construction site.
- Before beginning construction the contractor shall install erosion and sedimentation control measures in accordance with NPDS permit requirements, best management practices, state and local requirements and the details shown on the detail sheet(s) of the project plan set.
- All construction permits, applications and fees are the responsibility of the contractor.
- All entrance and connections to city streets shall be constructed per the requirements of the state and local jurisdictions, The contractor shall be responsible for all permits and notifications as required.
- All street repairs and patching shall be preformed per the requirements of the city. All traffic control shall be provided by the contractor and shall be established per the requirements the MN manual of uniform traffic control devices and the city. This shall include all signage, barricades, flashers and flaggers as needed. All public streets shall be open to traffic at all times.
- Adjust all existing structures, both public and private to the proposed grades where disturbed and comply with all requirements of the utility owners. Structures being reset to paved areas must meet owners requirements for traffic loading.
- Existing conditions topographic survey provided by others.

GOVERNING SPECIFICATIONS

The Latest Edition of the Minnesota Department of Transportation "Standard Specification for Construction" shall apply.

The Latest Edition of the City Engineers Association of Minnesota (CEAM) standard specifications shall apply.

The Latest Edition of the City of Howard Lake engineering standards and specifications shall apply.

All federal, state, and local laws, regulations, and ordinances shall be complied with in the construction of this project.

All traffic control devices and signaling shall conform to the latest edition of the Minnesota Manual on Uniform Traffic Control Devices. Including the latest field manual for temporary traffic control zone layouts.

VICINITY MAP



LEGAL DESCRIPTION

Outlot C, Lake Golf Estates, Wright County, MN Abstract Property

PROJECT BENCHMARKS

Top Nut Hydrant: 1033.47

LOCAL UTILITIES

Xcel Energy - Gas and Electric
612-330-5500

Spectrum - Internet and Cable
855-860-9068

WARNING

The contractor shall be responsible for identifying the locations of all existing utilities. Contractor shall cooperate with all utility companies in maintaining their service and / or relocation of lines

The contractor shall contact "Gopher State One Call" at least 48 hours in advance for the locations for all underground wires, cables, conduits, pipes, manholes, valves or other buried structures before digging. The contractor shall repair or replace the above when damaged during construction at no cost to the owner.

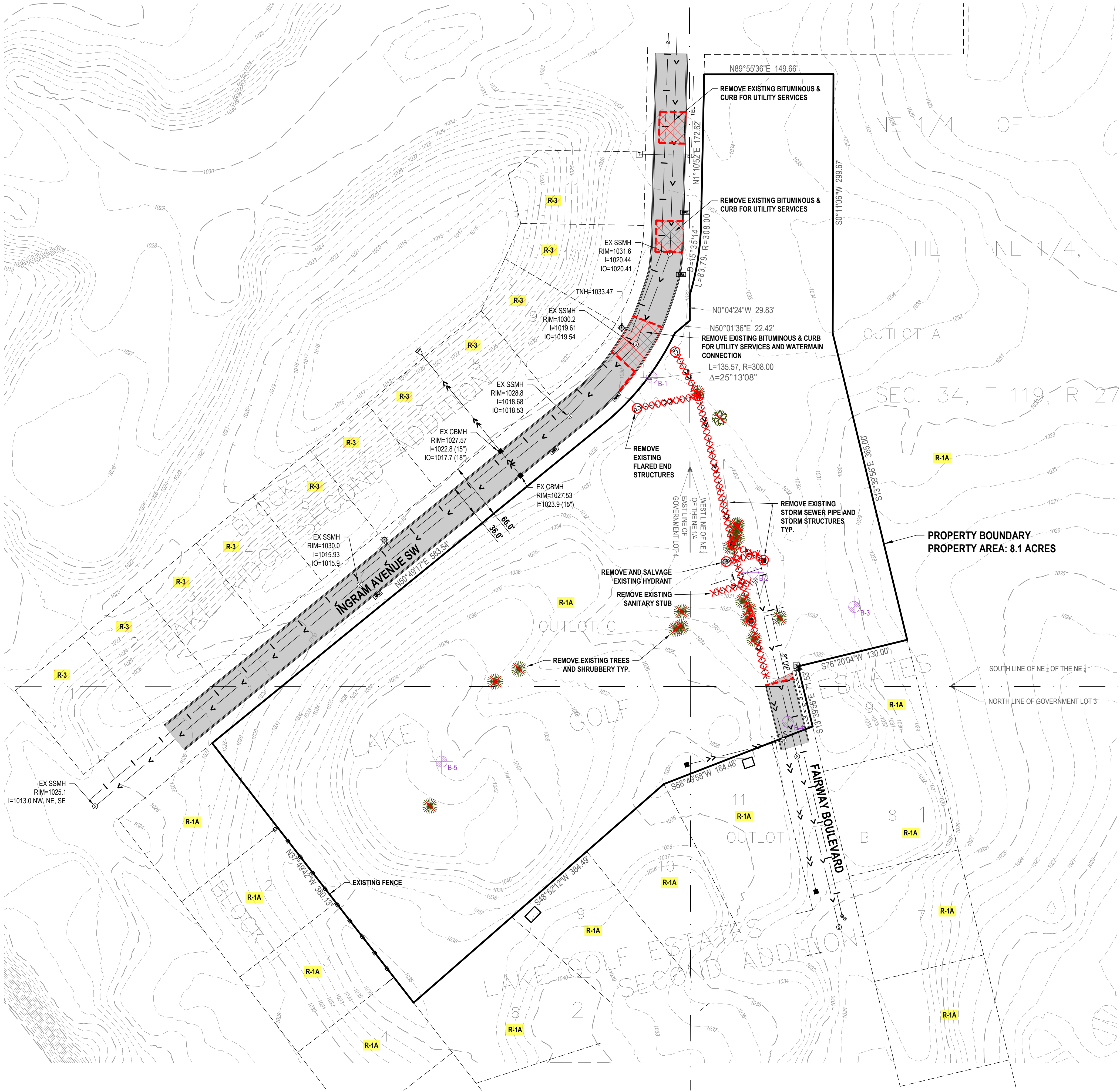
SHEET INDEX & SUBMITTALS

C0.0 - Civil & Landscape Title Sheet	X
C1.0 - Existing Conditions & Removals	X
C2.0 - Site Plan	X
C2.1 - Preliminary Plat	X
C3.0 - Grading, Drainage & Erosion Control	X
C4.0 - Utility Plan	X
C7.20 - Civil Details	
C7.30 - Civil Details	
C7.40 - Civil Details	
L2.0 - Landscape Plan	X
L7.0 - Landscape Details	

PROJECT CONTACTS

OWNERS	Cavaliera Homes, LLC 3378 156th Ave NW Andover, MN 55304	Nathan Gunn 763-567-8682 nathan@cavalierahomes.com
CIVIL ENGINEER	Land & Resource Consulting 14260 23rd Ave N Plymouth, MN 55447	Randy Hedlund 651-398-3586 RandyH@landandresource.com
SURVEY	Gorman Surveying 8640 Harriet Ave So. Suite 102 Bloomington, MN 55420	Chris Weiland 952-346-8300 GormanSurveying@outlook.com

DRAWINGS BY
 LRC Land & Resource Consulting 14260 23rd Ave N Plymouth, MN 55447 Phone: 763-340-0699
DRAWINGS FOR
Cavaliera Homes, LLC
3378 156th Ave NW Andover, MN 55304
PROJECT
Lake Golf Estates Third Addition
Howard Lake, MN Wright County
CERTIFICATION
I hereby certify that this plan, specification, or report was prepared by me, under my direct supervision and I am a duly Licensed Professional Engineer under the laws of the State of Minnesota. Randall C. Hedlund MN. Lic. No. 195769 Date: _____
ISSUED FOR
ISSUE / REVISION DATE
Preliminary Plat 06-02-2026
SUBMITTAL INFO
Review By: RH Project # : 26009 Submittal Date: 06-02-2026 Submittal Phase: Preliminary Plat
SHEET TITLE
Civil & Landscape Title Sheet
SHEET NUMBER
C0.0
Copyright Land & Resource Consulting



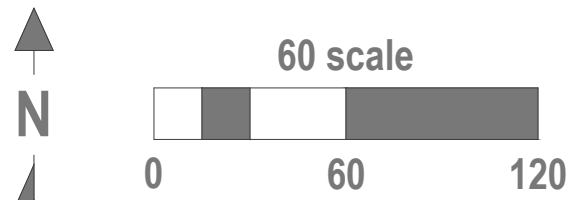
- Existing Conditions Notes**
- Existing conditions shown are based on actual field survey, City of Howard Lake utility records and utility service provider records and is approximate. Existing conditions shall be verified prior to the start of construction and any inconsistencies shall be reported to the engineer or owner/developer immediately.
 - Soil boring locations shown are approximate. Refer to the geotechnical investigation completed by Independent Testing Technologies, Inc dated May 13, 2026.
- Removals and Clearing Notes**
- All temporary erosions control measures shall be installed and inspected prior to the start of construction. Refer to sheet 3.1 for erosion prevention and sedimentation control measures utilized.
 - Contractor shall obtain permits for demolition, removals, clearing, grubbing and disposal prior to the start of construction.
 - Dimensions illustrating the limits of demolition and removals are approximate. Coordinate the actual limits of demolition with the proposed improvements.
 - Schedule and complete public roadway demolition and replacement to minimize impacts to traffic.
 - All lane closures and work within the public right-of-way shall be reported to the City of City of Howard Lake and Wright County 7 days prior to the start of construction.
 - Emergency access through the construction areas shall be maintained throughout the course of construction.
 - Contractor shall provide barricades, lights, signs traffic control and other measures necessary to ensure safe traffic flow during the course of construction.
 - Features not designated to be removed shall be protected during the course of construction. Damage to features not designated for removal or altered as part of this project shall be repaired or replaced at no additional cost to the developer, city or county
 - Trees designated for removal includes the root structure. Trees on or near the limits of grading or removals shall be saved unless noted otherwise on the plans. Trees and stumps may be ground onsite. Chipped materials shall not be mixed into subgrade materials under any structures.
 - Contractor shall remove all features including, but not limited to underground utilities, fence, walls, footings, walls, lighting, signs, stairs, and landscaping within the grading and demolition limits unless otherwise noted on the plans.
 - Coordinate removal, termination, and reuse of existing utilities and appurtenances with service providers. Restore all disturbed utilities or coordinate repair/replacement with the utility service providers.
 - Exiting conduits and underground pipes may be abandon in-place if filled properly with sand or flowable fill if the existing utilities are ore not in conflict with existing or proposed utilities or structures. Termination of a utility shall be completed in accordance with the utility service provider's standards.
 - Demolition debris shall become property of the contractor unless noted otherwise on the plans. All construction debris shall be removed from the site to an approved location.
 - Report the presence of wells and drain fields and septic tanks to the engineer and owner.

Existing Conditions Legend

— · — · —	Quarter Section Line	☐ Mailbox
— — — — —	Property Line	⊙ Hydrant
- - - - -	Adjacent Property Line	⊙ Gate Valve
- - - - -	Existing Contour - Major	⊙ Power Pole
- - - - -	Existing Contour - Minor	☐ Telephone Box
- - - - -	Underground Electric	⊙ Sanitary Manhole
— TEL —	Telephone	⊙ Storm Manhole
— >> —	Storm	■ Catch Basin
— > —	Sanitary	☀ Existing Tree
— — —	Water	⊙ Soil Boring
— — — — —	Fence	
Asphalt		
		R-1A Zoning Classification: Contemporary, Existing Lot Single-Family Residential
		R-3 Zoning Classification: Single and Two-Family Residential

Removals Legend

▨	Curb & Gutter & Asphalt Removal
- - - - -	Sawcut
XXXXXXXXXX	Utility Pipe Removal
○	Structure Removal
☀	Tree Removal



DRAWINGS BY

LRC
Land & Resource Consulting
14260 23rd Ave N
Plymouth, MN 55447
Phone: 763-340-0699

DRAWINGS FOR

Cavaliera Homes, LLC
3378 156th Ave NW
Andover, MN 55304

PROJECT

**Lake Golf Estates
Third Addition**
Howard Lake, MN
Wright County

CERTIFICATION

I hereby certify that this plan, specification, or report was prepared by me, under my direct supervision and I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Randall C. Hedlund
MN. Lic. No. 195765
Date: _____

ISSUED FOR

ISSUE / REVISION	DATE
Preliminary Plat	06-02-2026

SUBMITTAL INFO

Review By: RH
Project #: 26009
Submittal Date: 06-02-2026
Submittal Phase: Preliminary Plat

SHEET TITLE

**Existing
Conditions &
Removals**

SHEET NUMBER

C1.0
Copyright Land & Resource Consulting



General Site Notes

- 1. For surveying and construction staking, contact Land & Resource Consulting 763.340.0699.
- 2. Dimensions are to outside foundation wall, back of curb or edge of bituminous pavement unless noted otherwise on the drawings.
- 3. The building and structure location and orientation is shown on the plans in relation to the property boundary and right-of-way.
- 4. Building and structure dimensions are approximate. Architectural and structural plans shall be utilized to stake the new structures and buildings.
- 5. Erosion control and sedimentation control measures shall be installed and inspected prior to the start of construction.
- 6. City infrastructure shall be built in accordance with City of Howard Lake material and construction methods. In the event of a discrepancy, the City Standards shall govern.
- 7. Improvements within the County right-of-way shall be constructed in accordance with County Construction Standards. In the event of a discrepancy, the County Standards shall govern.

Development Summary

55' Single Family Count: 8 lots
65' Single Family Count: 17 lots
Total Homes: 25
Gross Density: 3.1 un / ac

Zoning & Setback Summary

Existing Zoning Designation: R1A, Contemporary, Existing Lot Single Family Residential
Proposed Zoning: PUD

Standards	R-1A Requirements	Proposed Single-Family*
Minimum Lot Size:	10,500 sf	7,930 sf
Minimum Lot Width:	85'	55' **
Minimum Lot Depth:	125'	130'
Building Setbacks		
Front Yard:	30'	30'
Rear Yard:	25'	25'
Side Yard (Interior):	10'	7.5 / 15 total
Side Yard (Street):	30'	30'

* See Sheet C2.1 for all lot areas and dimensions

** See adjacent site plan for all lot widths at setback line

Property Area Summary

Existing:			
Pervious:	349,679 sf	8.0 ac	99.4%
Impervious:	2,221 sf	0.1 ac	0.6%
Total	351,900 sf	8.1 ac	100.0%

Proposed:			
Pervious:	235,748 sf	5.4 ac	67.0 %
Impervious:	116,151 sf	2.7 ac	33.0%
Total	351,900 sf	8.1 ac	100.0%

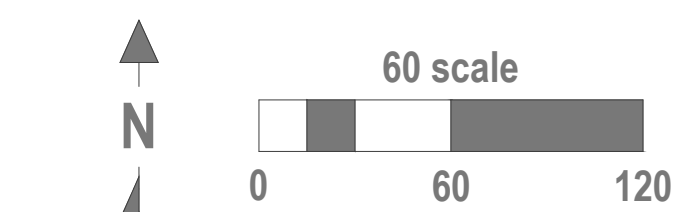
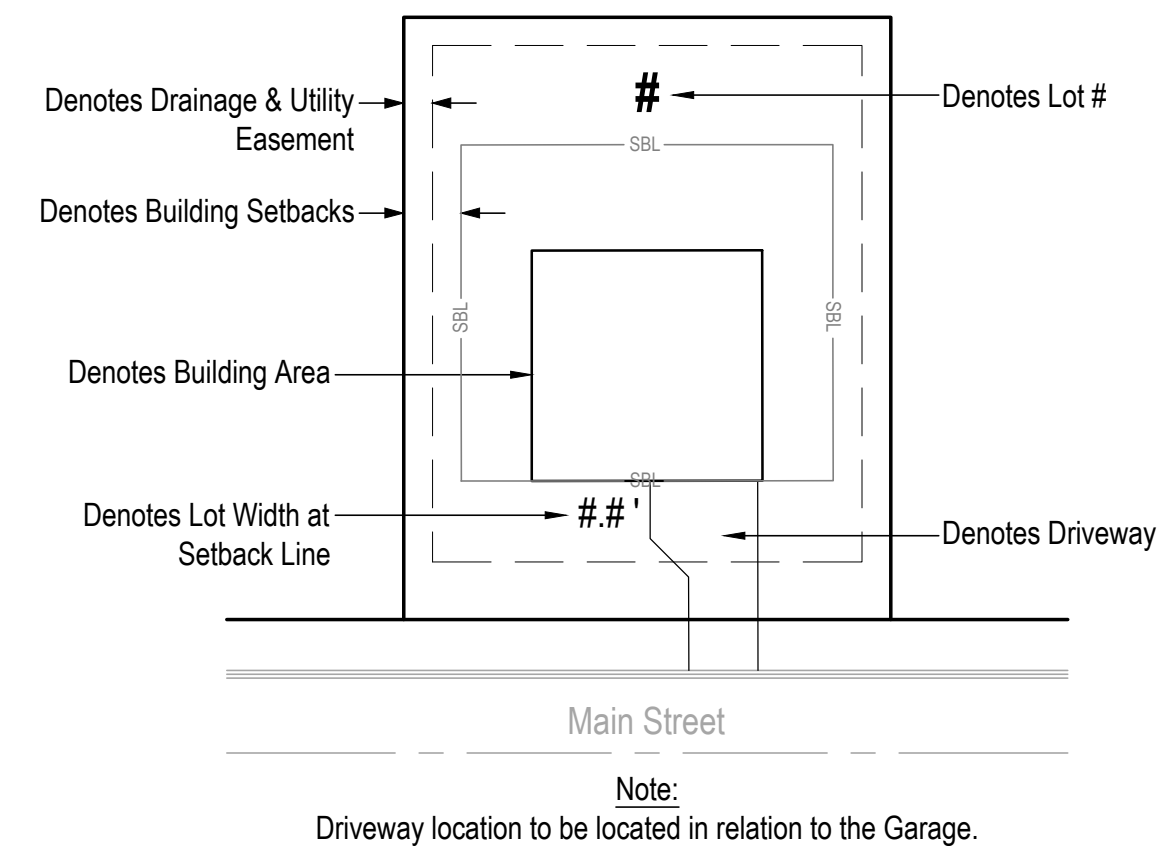
Shoreland Area Summary

Total Area in Shoreland:	236,798 sf
Public ROW in Shoreland:	36,915 sf
Private Lot Area in Shoreland:	199,883 sf
House Pads & Driveways:	51,520 sf / 22% Imp

Legend

	SBL	Building Setback Line		Bituminous
	Easement			Open Space / Pervious Area
	1000' Shoreland Boundary			

Typical Lot Detail



DRAWINGS BY

Land & Resource Consulting

14260 23rd Ave N
Plymouth, MN 55447
Phone: 763-340-0699

DRAWINGS FOR

Cavaliera Homes, LLC

3378 156th Ave NW
Andover, MN 55304

PROJECT

Lake Golf Estates
Third Addition

Howard Lake, MN
Wright County

CERTIFICATION

I hereby certify that this plan, specification, or report was prepared by me, under my direct supervision and control, and I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Random C. Hedlund
MN. Lic. No. 195763
Date: _____

PRELIMINARY NOT FOR CONSTRUCTION

ISSUED FOR

ISSUE / REVISION	DATE
Preliminary Plat	06-02-2026

SUBMITTAL INFO

Review By: RH
Project # : 26009
Submittal Date: 06-02-2026
Submittal Phase: Preliminary Plat

SHEET TITLE

Site Plan

SHEET NUMBER

C2.0

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Legal Description

Outlot C, Lake Golf Estates, Wright County, MN Abstract Property

Lot Area Table

Lot Number	Square Feet	Acres
Block 1		
1	9,593	0.22
2	9,532	0.22
3	9,604	0.22
4	9,942	0.23
5	12,232	0.28
6	10,155	0.23
7	8,534	0.20
8	7,963	0.18
9	7,930	0.18
Block 2		
1	12,916	0.30
2	12,995	0.30
3	10,348	0.24
4	10,134	0.23
5	8,460	0.19
6	8,384	0.19
7	9,744	0.22
8	17,317	0.40
9	15,598	0.36
10	20,493	0.47
11	14,303	0.33
12	12,044	0.28
13	11,205	0.26
14	11,229	0.26
15	11,535	0.26
16	14,645	0.34
Outlot		
Outlot A	15,745	0.36

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MN. Lic. No. 19576

Date: _____

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60 scale

060120

811

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Andover, MN 55304

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Third Addition

Howard Lake, MN
Wright County

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SHEET TITLE

Preliminary
Plat

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- General Grading & Erosion Control Notes**
- For surveying and construction staking, contact Land & Resource Consulting 763.340.0699.
 - Erosion control measures shall be installed prior to the start of construction.
 - Install inlet protection: Wimco RD or CG models or approved equal. Inspect, clean and maintain inlet protection though the course of construction.
 - Soil disturbance and grading practices shall be minimized and staged as much as possible. Restoration and stabilization shall be installed in accordance with the SWPPP time requirements or sooner.
 - All erosion control practices shown are to be considered the minimum. Additional erosion control practices, measures and materials may be necessary to stabilize sediment within the construction site during during construction.
 - All grading, erosion/sedimentation control shall be in accordance with the minimum SWPPP notes on Sheet 3.2.
 - Infiltration areas shall be protected during the course of construction to prevent migration of sediment into the infiltration areas. Sediment must removed from the basin bottom and the surface shall the roughed and scarified to achieve the original infiltration rates.
 - Surface stabilization and turf shall meet the following standards:

Item	MnDOT Ref. Spec.
Sod	MnDOT 3878
Seed	MnDOT 3876
For Temporary Erosion Control: (May 1 - July 31) Apply MN Mix "Oats" @ 100 lb./acre (Aug. 1 - Oct. 31) Apply MN Mix "Winter Wheat" @ 100 lb./acre For Permanent Groundcover: See Sheet L2.0 Landscape Plan	
Mulch	MnDOT 3882
Install MN Type 1 @ 2 ton/acre - Disc anchored	
Erosion Control Blanket	MnDOT 3885
Install MN Type 3N (12 mo.) or Type 4N (24 mo.)	
Fertilizer	MnDOT 3881
Apply in accordance with product standards. MN	

- Refer to Geotechnical Investigation completed by Independent Testing Technologies, Inc. dated 05/13/2026 for grading, backfill, soil corrections, compaction and groundwater conditions. Contact ITT during the course of construction to perform material and compaction testing.
- Clear and grub construction area. Stockpile topsoil for reuse.
- Once the curb and gutter has been installed, place silt fence or and approved equivalent at the back of the curb

- Infiltration Basin & Testing**
- Install erosion control fencing as shown prior to the start of construction.
 - Avoid soil compaction of infiltration basin area. Equipment within infiltration basin shall be light weight and tracked.
 - The bottom of the infiltration basin shall be scarified to a depth of 12" prior to topsoil and seeding.
 - The contractor shall engage a third party material testing consultant to confirm the following:
 - The infiltration rates meet or exceed the rates for each basin as outlined in the project storm water narrative using a double-ring infiltrometer.
 - Contact the engineer and owner if any rates do not meet or exceed design parameters.
 - The frequency of the infiltration tests shall be established by the governing agency.

Legend

900	Proposed Contour		Construction Entrance
x 11.94	Spot Elevation - Proposed		Erosion Control Blanket
x 11.94	Spot Elevation - Existing	SF	Silt Fence
>>	Storm Sewer	SF2	Silt Fence - Storm Pond
GF=1036.2 SOG (1035.9)	GF = Garage Floor Elevation SOG = Slab on Grade (XXX.X) = Rear Elevation		Inlet Protection

N

60 scale
0 60 120

811
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14260 23rd Ave N
Plymouth, MN 55447
Phone: 763-340-0699

DRAWINGS FOR

Cavaliera Homes, LLC

3378 156th Ave NW
Andover, MN 55304

PROJECT

**Lake Golf Estates
Third Addition**

**Howard Lake, MN
Wright County**

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Randall C. Hedlund
MN. Lic. No. 195765

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Project # : 26009
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Submittal Phase: Preliminary Plat

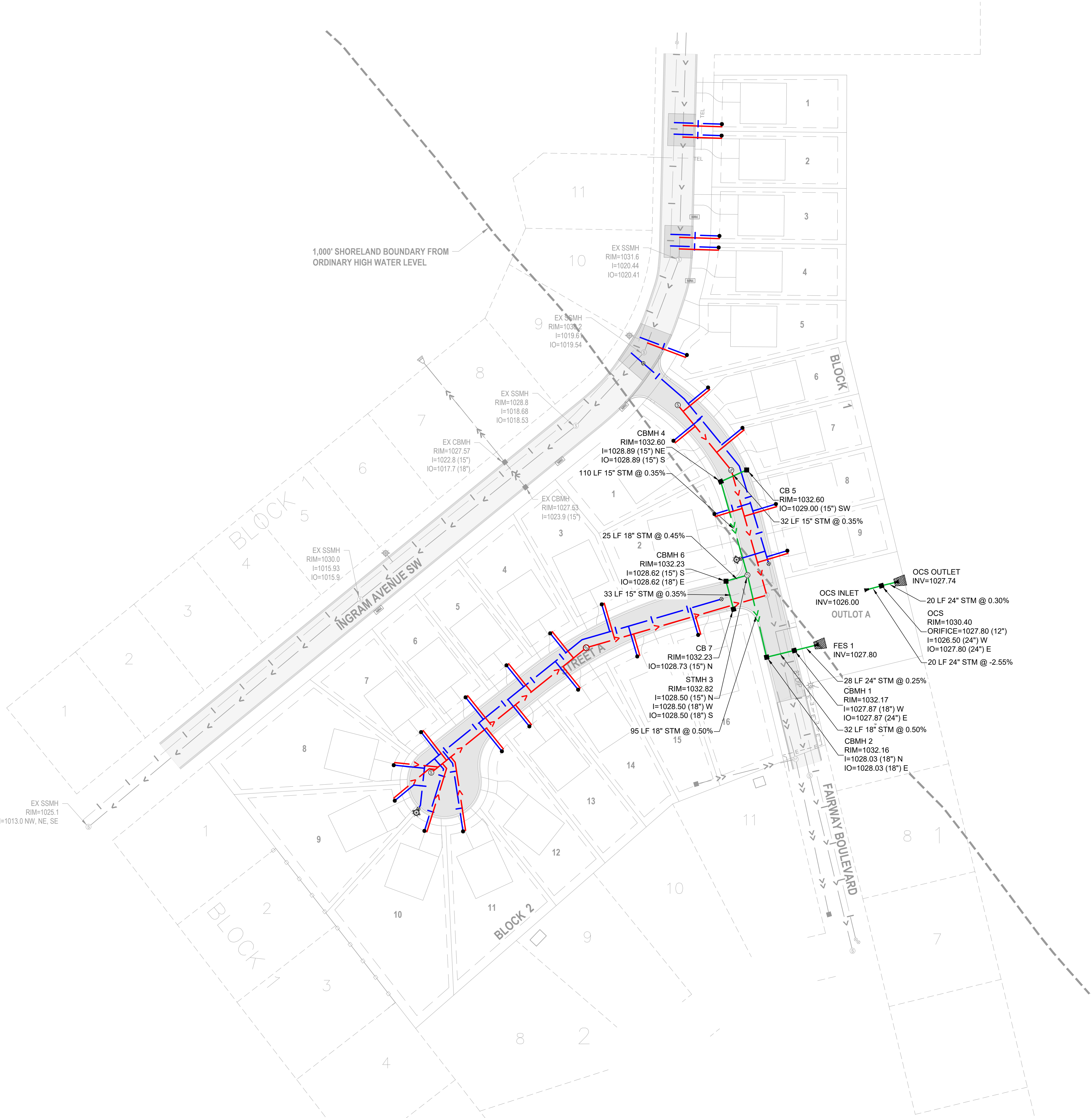
SHEET TITLE

Grading Plan

SHEET NUMBER

C3.0

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- Utility Notes**
- For surveying and construction staking, contact Land & Resource Consulting 763.340.0699.
 - Erosion control measures shall be installed prior to the start of construction.
 - Obtain all necessary permits prior to the start of construction.
 - Contact all utility service providers a minimum of 72 hours prior to the start of construction.
 - Pipe Materials
 - Storm Sewer: 12"-18" RCP Class 5 (ASTM C76)
21" and greater Class 4 (ASTM C76)
 - Sanitary Sewer: PVC SDR 35, SDR 26
Service: PVC Schedule 40
 - Watermain: DIP Class 52
Service: Copper Type K
 - Contractor shall field verify horizontal and vertical location of all utilities prior to the start of construction.
 - Contractor shall investigate, excavate and expose existing utilities at crossings and potential conflicts prior to the start of utility installation. Report inconsistencies to the engineer and owner immediately.
 - Pipe lengths on the plans are measures from center of structure to center of structure.
 - Tracer wire shall be installed for all non-conductive underground utilities in accordance with City of Howard Lake Standards.
 - Refer to lighting plan to coordinate electric conduit installation and potential conflicts.
 - Compaction and backfill shall be in accordance with the geotechnical investigation and the City of Howard Lake construction and design practices.
 - Testing frequency shall be in accordance with the geotechnical engineer and City of Howard Lake Standards.
 - Proposed driveway culverts shall be individually approved by the City of Howard Lake on a case-by-case basis.
 - Watermain is to have minimum cover of 7.5 feet

Legend

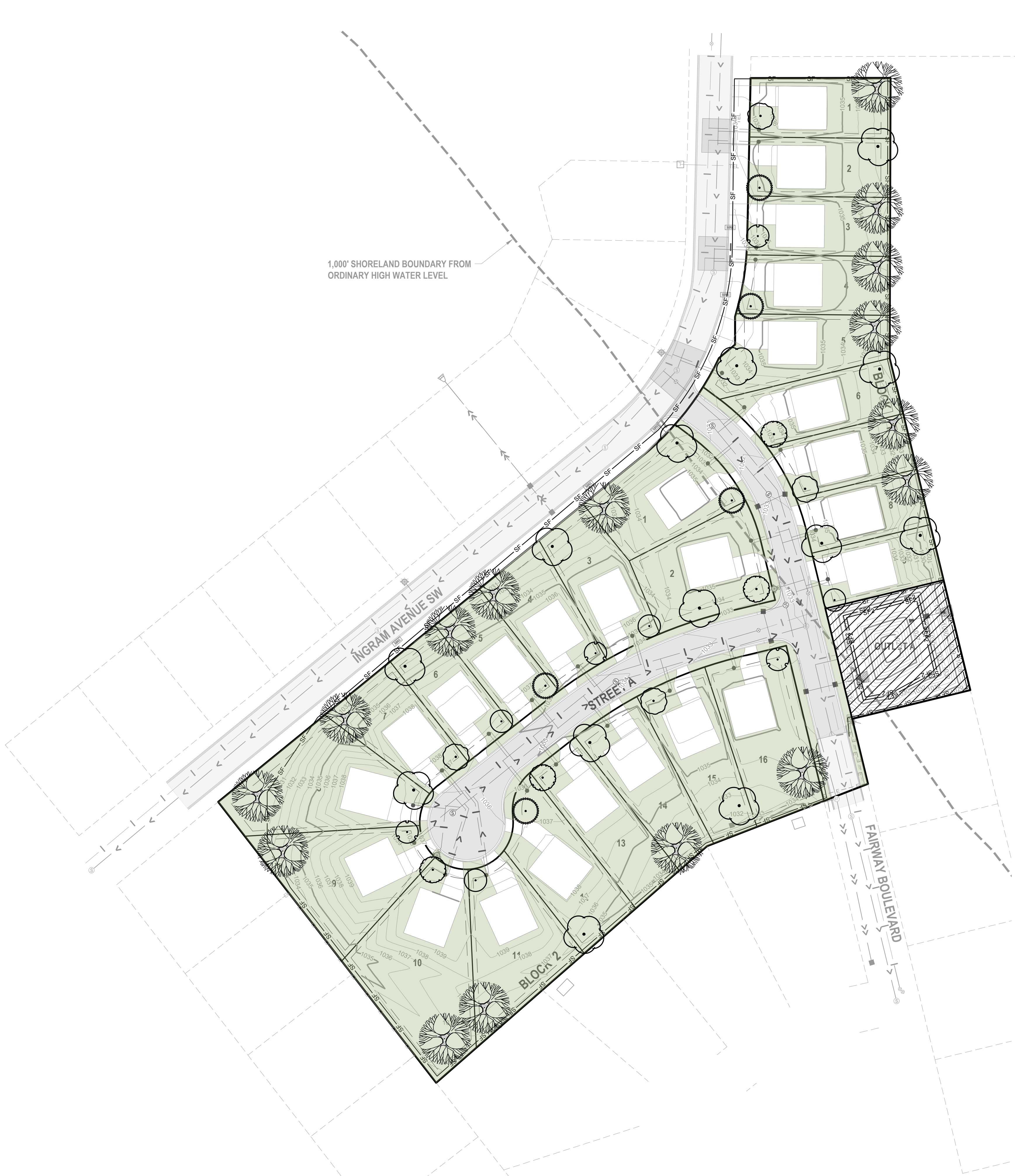
	Sanitary
	Storm
	Water
	Catch Basin
	Storm Manhole
	Sanitary Manhole
	Hydrant
	Gate Valve

N

0 60 120
60 scale

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DRAWINGS BY
 Land & Resource Consulting 14260 23rd Ave N Plymouth, MN 55447 Phone: 763-340-0699
DRAWINGS FOR
Cavaliera Homes, LLC 3378 156th Ave NW Andover, MN 55304
PROJECT
Lake Golf Estates Third Addition Howard Lake, MN Wright County
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ISSUE / REVISION DATE
Preliminary Plat 06-02-2026
SUBMITTAL INFO
Review By: RH Project # : 26009 Submittal Date: 06-02-2026 Submittal Phase: Preliminary Plat
SHEET TITLE
Utility Plan
SHEET NUMBER
C4.0
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Landscape Site Notes

- Landscape contractor shall visit the site prior to submitting bid to become completely familiar with site conditions.
- It is the responsibility of the owner & contractor to identify all underground cables and utilities on the property.
- Coordinate installation with Contractors performing related work.
- No planting will be installed until all grading and construction has been completed in immediate area.
- Place plants according to layout with the proper spacing. If the contractor feels an error has been made regarding spacing or hardness of a species of plant material indicated on the plan, notify the landscape architect prior to the installation of the plant material.
- All newly installed plant material shall be planted in well-drained areas, contractor shall avoid installing any plant material in drainage swales or wet or poorly drained areas.
- All planting areas with groundcover, perennials, or annuals shall receive a minimum of 8" settled depth of planting soil. Planting soil shall consist of 45% topsoil, 45% peat or manure, and 10% clean sand, thoroughly mixed.
- Areas being sodded - sod shall be laid parallel to the contours and have staggered joints. On slopes steeper than 3:1 or drainage swales, the sod shall be staked into the ground, scarify the existing grades with field cultivator to a minimum depth of 6" prior to placing of topsoil and finish grading for sod immediately prior to placing sod. Contractor shall apply 10-6-4 fertilizer at the rate of 10 pounds per 1000 sq ft prior to installing sod.
- Areas being seeded - follow MnDOT Seeding Manual for seeding instructions for establishment of native seed and provide coordination for required erosion prevention and sediment control.
- Install 2" - 3" deep of shredded hardwood mulch in planting beds.
- Install 4' diameter shredded hardwood mulch, at a depth of 3", under all trees that aren't within planting beds. Mulch should not be piled against the trunk.
- Edge planting beds with 6-inch Black Vinyl Edging (Black Diamond or approved equal) except where adjacent to curbing, walks or buildings. Refer to Detail 4 on Sheet L701.
- All plant material shall conform to the American Association of Nurserymen Standards. Plants will be rejected if not in sound and healthy condition.
- Any native seeds shall be of Minnesota origin and certified by the Minnesota Crop Improvement Association.
- Inspect all trees for encircling roots, reject any trees that are severely affected.
- Crabapple trees shall have no branches below 36" above the rootball and no "V" crotches.
- Maintain trees in plumb position throughout the guarantee period.
- New plant material shall be guaranteed through one calendar year for deciduous trees up to 3.5 caliper inches and conifers up to 11' Ht. Larger sizes shall be guaranteed for two calendar years from the time of provisional acceptance.
- Irrigation system to be designed and installed by owner / contractor. After installation, the landscape contractor shall direct or control the irrigation system during the plant guarantee period to insure new plantings are being properly watered.

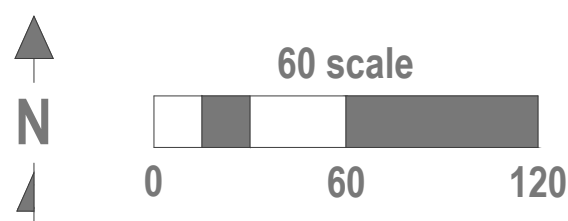
Required Landscaping	Provided Landscaping
2 Trees per lot = 50 trees	50 trees

Legend

- Seed Mix: MnDOT Southern Boulevard
160 lbs / ac
- Seed Mix: MnDOT Wet Ditch
20 lbs / ac
- SF Silt Fence, Limits of Grading

Planting Schedule

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	MATURE SIZE	PLANTING SIZE	PLANTING TYPE
DECIDUOUS TREES						
	AS-B	13	Acer saccharum 'Baista' / Fall Fiesta® Sugar Maple	60'H x 45'W	2.5" cal.	B&B
	AS-J	4	Acer saccharum 'JFS-KW8' / Autumn Fest® Sugar Maple	50'H x 35'W	2.5" cal.	B&B
	AF-S	4	Acer x freemanii 'Sienna'™ / Sienna Glen Maple	50'H x 35'W	2.5" cal.	B&B
	GT-SKY	4	Gleditsia triacanthos inermis 'Skyline' / Skyline Honey Locust	40'H x 30'W	2.5" cal.	B&B
	GT-SUN	4	Gleditsia triacanthos inermis 'Sunburst' / Sunburst Honey Locust	30'H x 30'W	2.5" cal.	B&B
	QM	16	Quercus macrocarpa / Burr Oak	70'H x 70'W	2.5" cal.	B&B
	TA	5	Tilia americana 'Boulevard' / Boulevard American Linden	60'H x 35'W	2.5" cal.	B&B



DRAWINGS BY



14260 23rd Ave N
Plymouth, MN 55447
Phone: 763-340-0699

DRAWINGS FOR

Cavaliera Homes, LLC

3378 156th Ave NW
Andover, MN 55304

PROJECT

Lake Golf Estates
Third Addition

Howard Lake, MN
Wright County

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Randall C. Hedlund
MN. Lic. No. 195763

Date: _____

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ISSUE / REVISION	DATE
Preliminary Plat	06-02-2026

SUBMITTAL INFO

Review By: RH
Project # : 26009
Submittal Date: 06-02-2026
Submittal Phase: Preliminary Plat

SHEET TITLE

Landscape
Plan

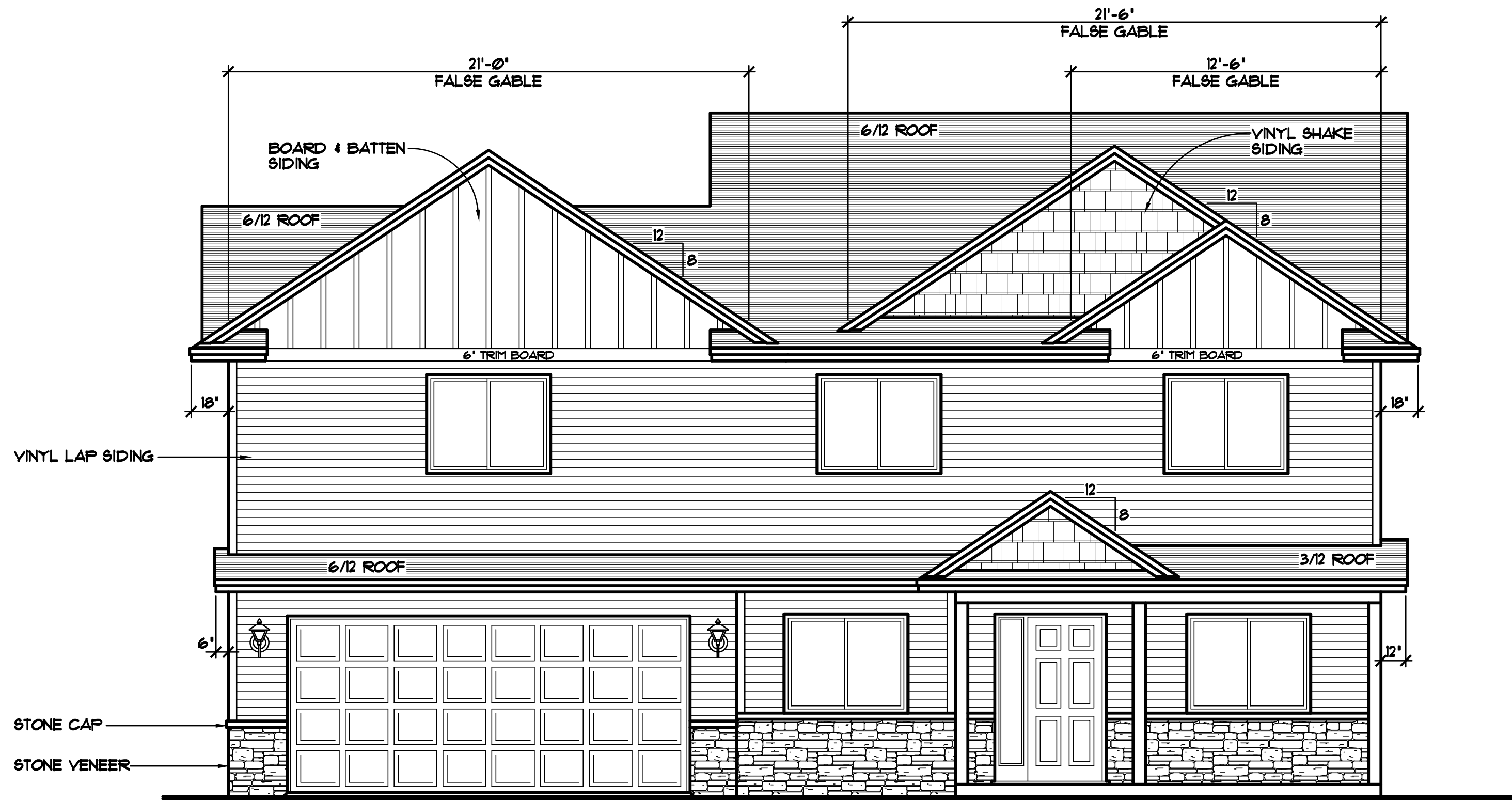
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L2.0

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GENERAL FRAMING & CONSTRUCTION NOTES

- 8'-1 1/8' PLATE HEIGHT • ENTIRE FIRST FLOOR
(UNLESS NOTED OTHERWISE)
- 8'-1 1/8' PLATE HEIGHT • ENTIRE SECOND FLOOR
(UNLESS NOTED OTHERWISE)
- PROVIDE STANDARD ENERGY HEEL • 6/12 SECOND FLOOR
ROOF TRUSSES & ADJUST HEEL HEIGHT • 8/12 ROOF TRUSSES
TO MATCH FASCIA with 6/12 ROOF
- PROVIDE STANDARD ENERGY HEEL • 3/12 FIRST FLOOR
ROOF TRUSSES & ADJUST HEEL HEIGHT • 6/12 & 8/12 ROOF
TRUSSES TO MATCH FASCIA with 3/12 ROOF



FRONT ELEVATION 1/4"=1'-0"

885 SQ. FT. FIRST FLOOR
1320 SQ. FT. SECOND FLOOR
2205 SQ. FT. TOTAL

THE:

MADELINE-2 CAR GARAGE

REVISIONS	BY
22059	RB.

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- VINYL LAP SIDING & CORNER TRIM
- ALUMINUM SOFFITS & FASCIA
- STONE VENEER WHERE SHOWN

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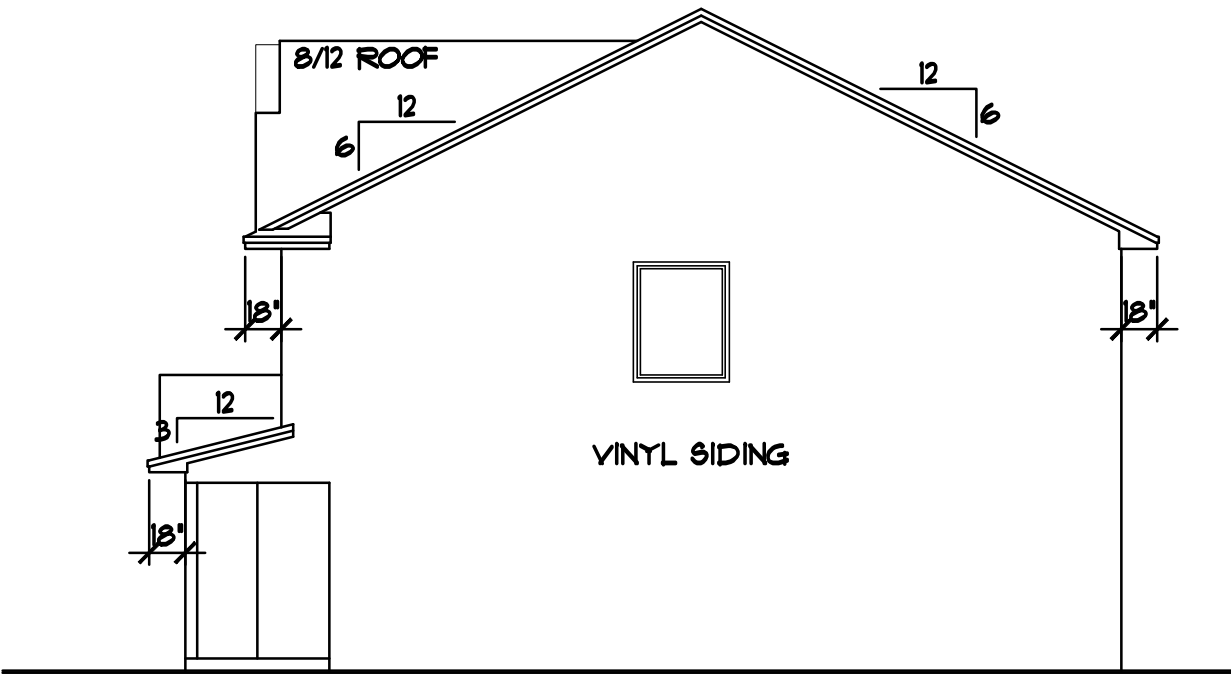
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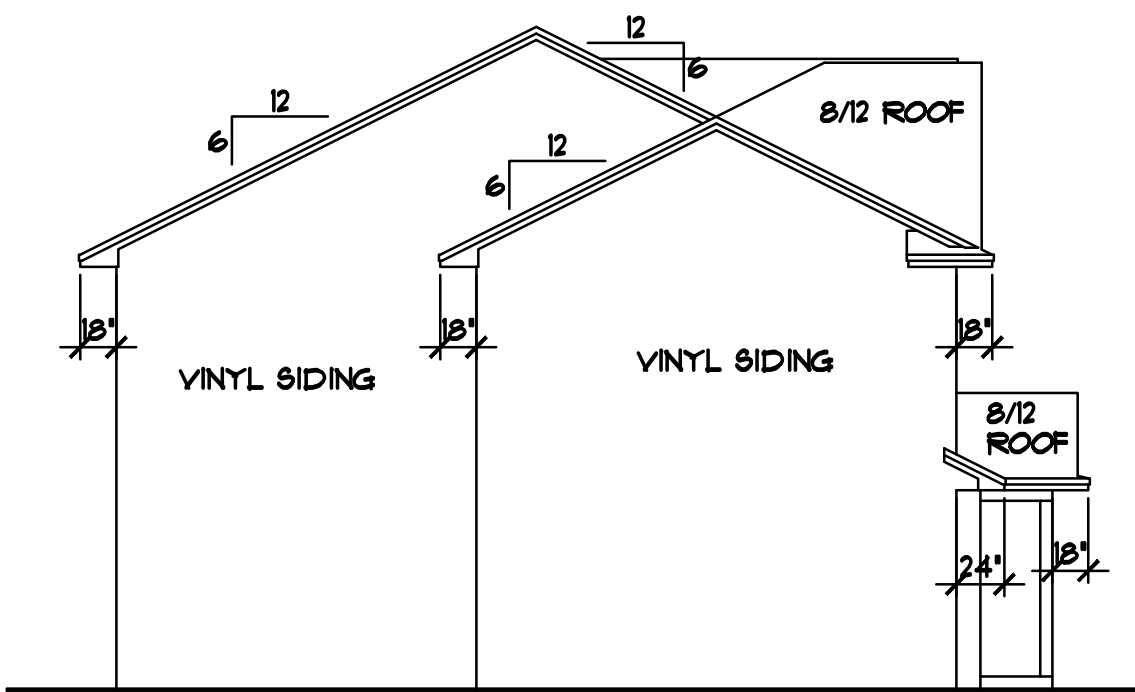
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DATE: 6/26/2026
SCALE: AS NOTED
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SHEET 1 OF 9

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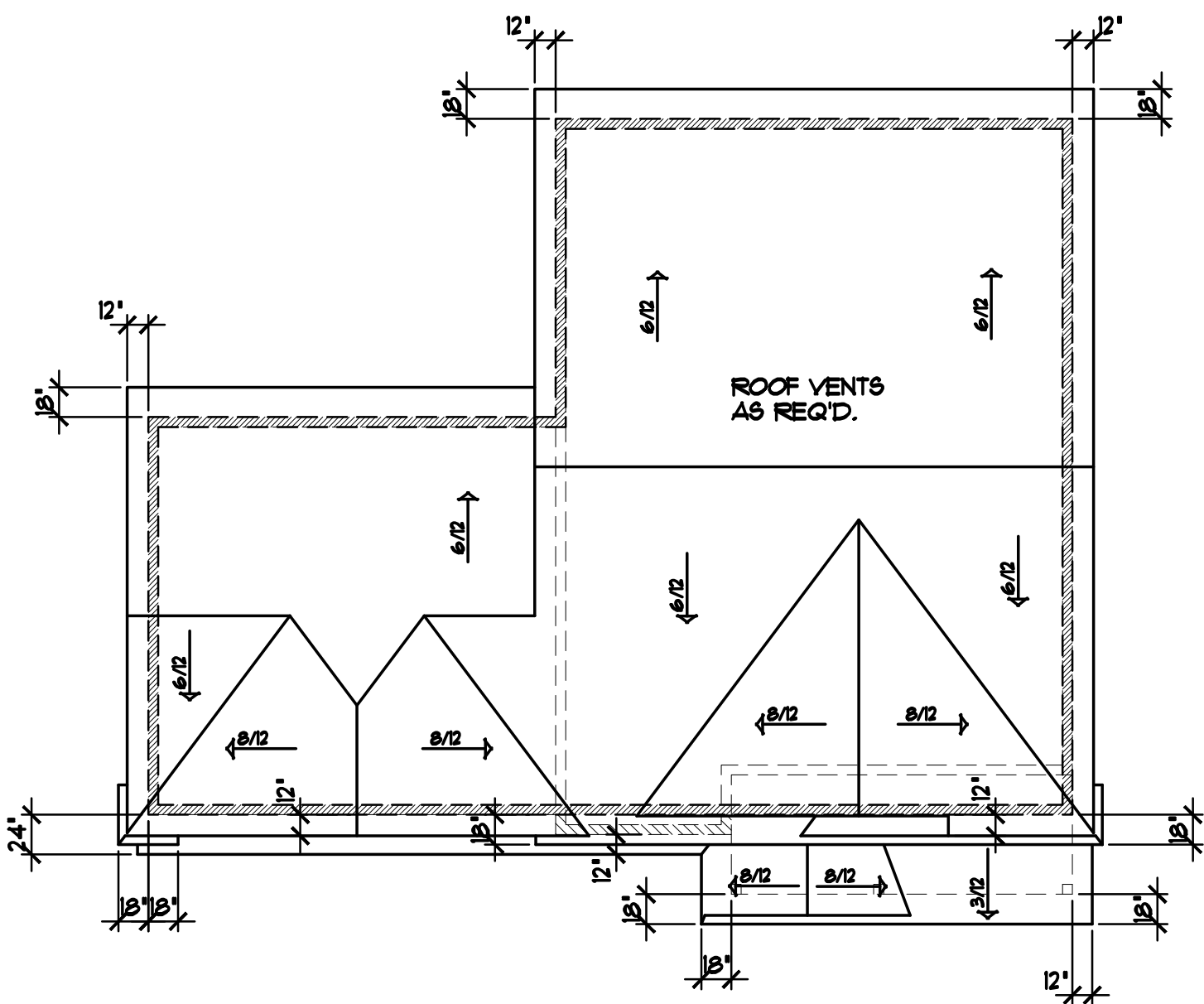
- 8'-1 1/8' PLATE HEIGHT • ENTIRE FIRST FLOOR
(UNLESS NOTED OTHERWISE)
- 8'-1 1/8' PLATE HEIGHT • ENTIRE SECOND FLOOR
(UNLESS NOTED OTHERWISE)
- PROVIDE STANDARD ENERGY HEEL • 6/12 SECOND FLOOR
ROOF TRUSSES & ADJUST HEEL HEIGHT • 8/12 ROOF TRUSSES
TO MATCH FASCIA with 6/12 ROOF
- PROVIDE STANDARD ENERGY HEEL • 3/12 FIRST FLOOR
ROOF TRUSSES & ADJUST HEEL HEIGHT • 6/12 & 8/12 ROOF
TRUSSES TO MATCH FASCIA with 3/12 ROOF



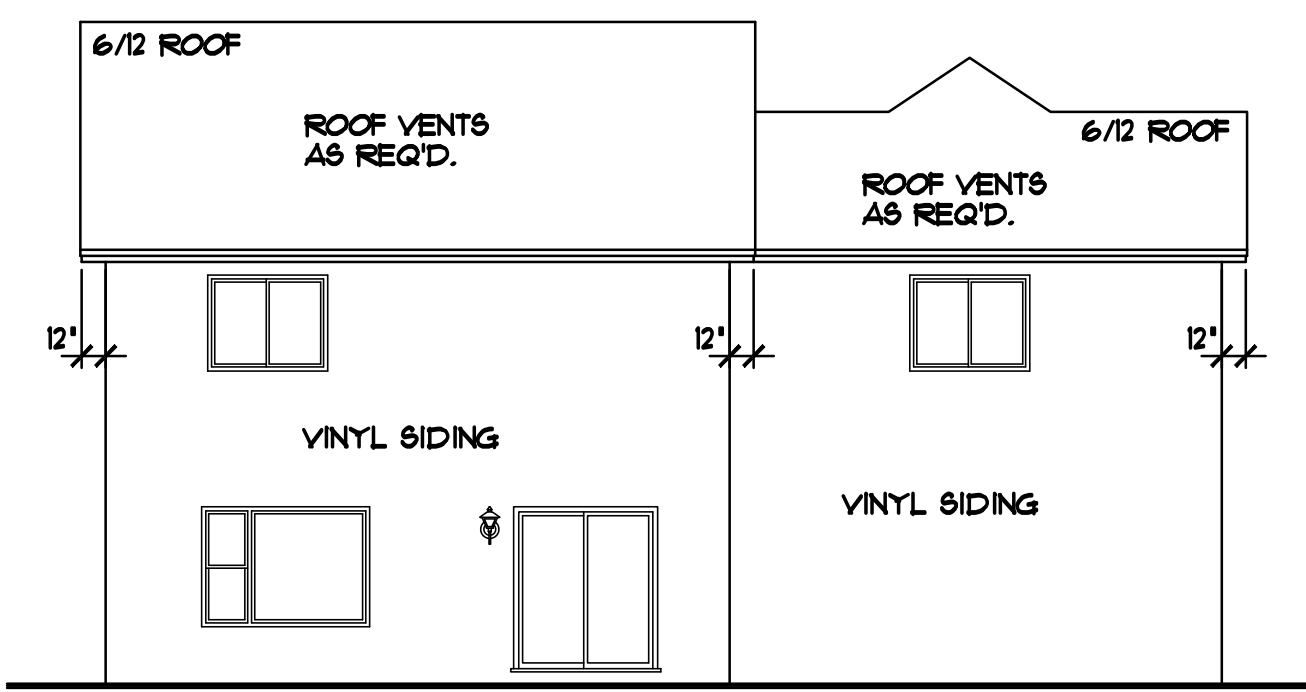
RIGHT ELEVATION 1/8"=1'-0"



LEFT ELEVATION 1/8"=1'-0"



BIRD'S-EYE ROOF PLAN 1/8"=1'-0"



REAR ELEVATION 1/8"=1'-0"

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SHEET
2
OF 9
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26071

- POURED CONCRETE FOUNDATION. VERIFY ALL WALL DIMENSIONS w/ FOUNDATION CONTRACTOR
- PROVIDE 2' R10 FOAM BOARD INSULATION
 - EXTERIOR HOUSE FOUNDATION WALLS
- ALL FOOTINGS SHALL HAVE A COMPRESSIVE STRENGTH OF 5000 PSI PER TABLE R402.2



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SHEET
③
OF 9
GOOD FILE *
16077

- 8'-1 1/8" PLATE HEIGHT @ ENTIRE FIRST FLOOR
(UNLESS NOTED OTHERWISE)
- 8'-1 1/8" PLATE HEIGHT @ GARAGE FROM TOP OF FOUNDATION
(UNLESS NOTED OTHERWISE)
- FRAME ALL GARAGE WALLS w/2x6 STUDS @ 16" O.C.
(UNLESS NOTED OTHERWISE)
- FLOOR TRUSS DEFLECTION TO BE L/480 (MINIMUM)
- ALTERNATE HEADER/BREAM SIZES & TYPES MAY BE
SPECIFIED BY SUPPLIER
- FINISH ALL GARAGE WALLS with 1/2" TYPE 'X' GYP. BD.
& FINISH GARAGE CEILING with 5/8" TYPE 'X' GYP. BD.

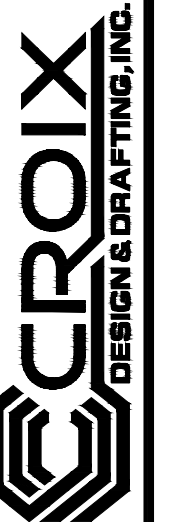
- **GENERIC WINDOW SIZES**
SPECIFIED VERIFY ROUGH OPENING SIZES
FOR DOORS & WINDOWS w/ MANUFACTURER
- **ALL WINDOW & DOOR OPENINGS TO HAVE**
(2x10 #2 GRADE HEADER or BETTER
(UNLESS NOTED OTHERWISE)
- **TOP OF RO. FOR ALL WINDOWS ON**
1st FLOOR TO BE 6'-10 1/2' FROM
TOP OF FOUNDATION
(UNLESS NOTED OTHERWISE)



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19 Time

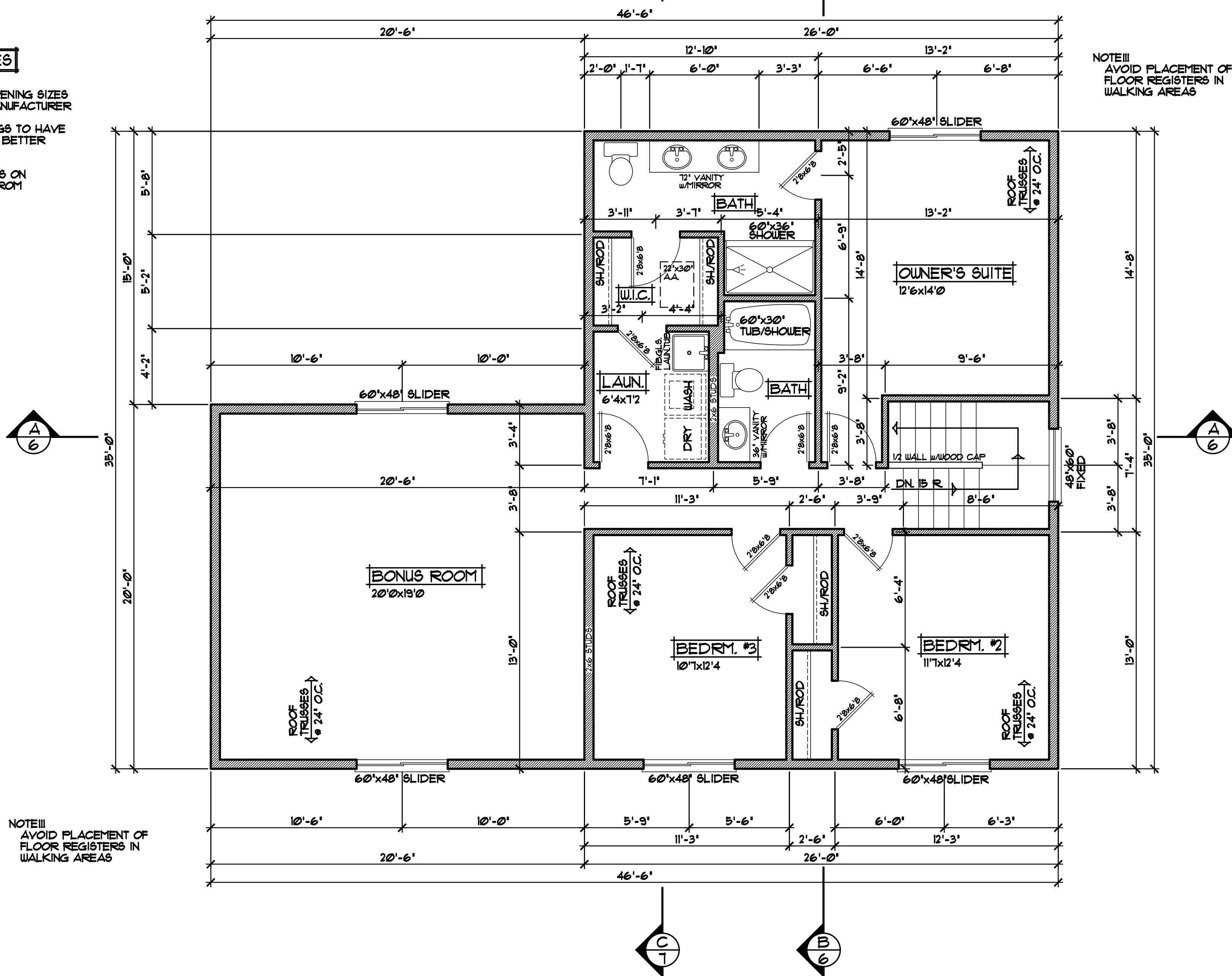
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④
OF 9
ADD FILE #
26077

GENERAL FRAMING & CONSTRUCTION NOTES

- 8'-1 1/8' PLATE HEIGHT • ENTIRE SECOND FLOOR (UNLESS NOTED OTHERWISE)
- ALTERNATE HEADER/BEAM SIZES & TYPES MAY BE SPECIFIED BY SUPPLIER

DOOR & WINDOW NOTES

- GENERIC WINDOW SIZES SPECIFIED VERIFY ROUGH OPENING SIZES FOR DOORS & WINDOWS w/ MANUFACTURER
- ALL WINDOW & DOOR OPENINGS TO HAVE (2)2x10 #2 GRADE HEADER or BETTER (UNLESS NOTED OTHERWISE)
- TOP OF R.O. FOR ALL WINDOWS ON 2nd FLOOR TO BE 6'-10 1/2" FROM TOP OF SUB FLOOR (UNLESS NOTED OTHERWISE)



NOTE III
AVOID PLACEMENT OF
FLOOR REGISTERS IN
WALKING AREAS

NOTE III
AVOID PLACEMENT OF
FLOOR REGISTERS IN
WALKING AREAS

SECOND FLOOR PLAN 1/4"=1'-0"
1320 SQ. FT. SECOND FLOOR

SPECIAL NOTICE:

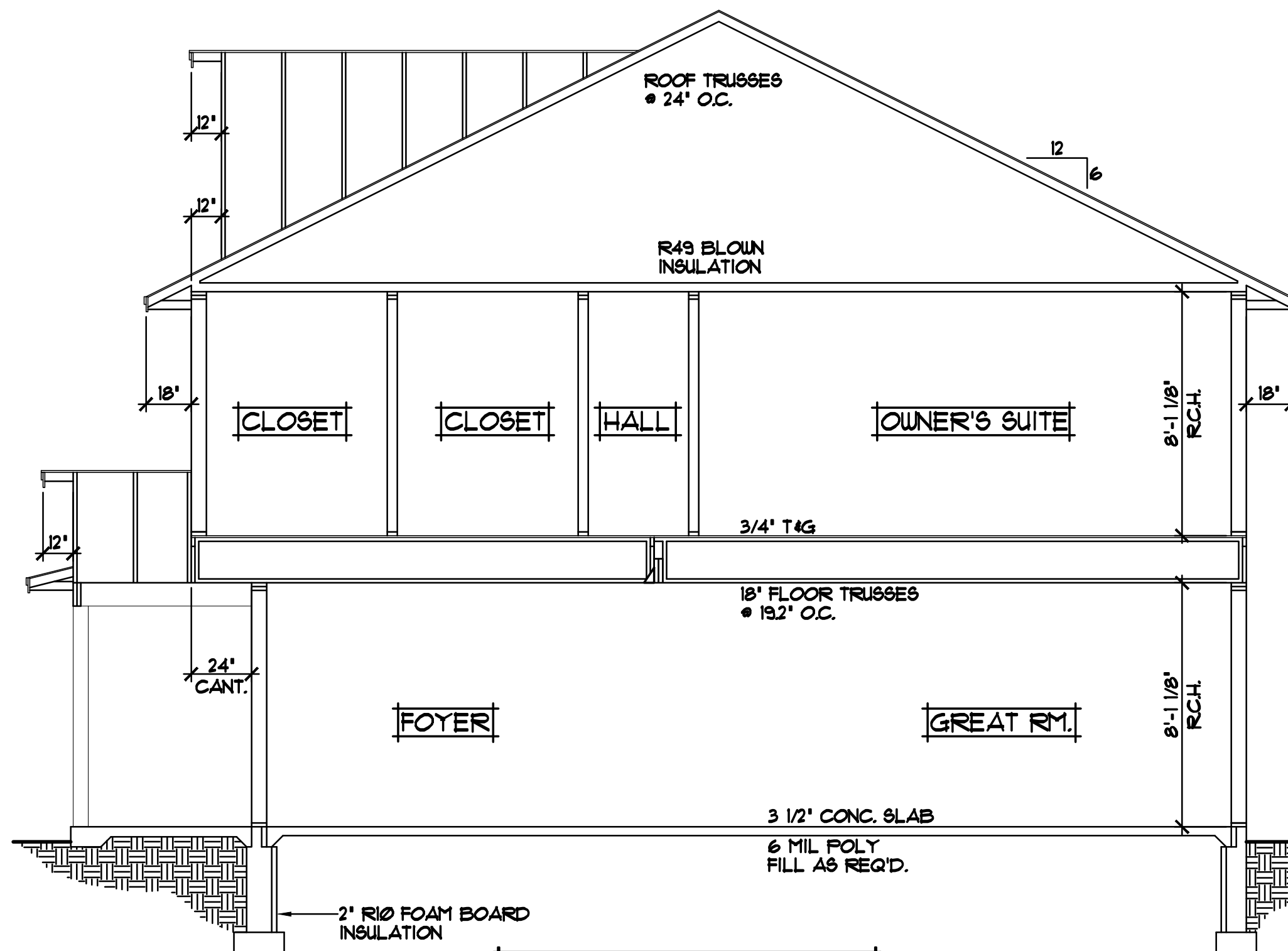
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- ROOF CONSTRUCTION:**
- PRE-MANUFACTURED ROOF TRUSSES ENGINEERED BY SUPPLIER
 - 1/16" ROOF VENT AT SOFFITS
 - AIR CHUTE AT EACH TRUSS SPACE
 - 15/32" OSB ROOF SHEATHING
 - 15" ROOFING FELT
 - ICE & WATER MEMBRANE APPLIED 24'
 - FAST EXTERIOR WALL
 - ASPHALT SHINGLES

- SOFFIT/FASCIA:**
- 2x6 SUB-FASCIA
 - ALUMINUM FASCIA
 - ALUMINUM VENTED SOFFITS

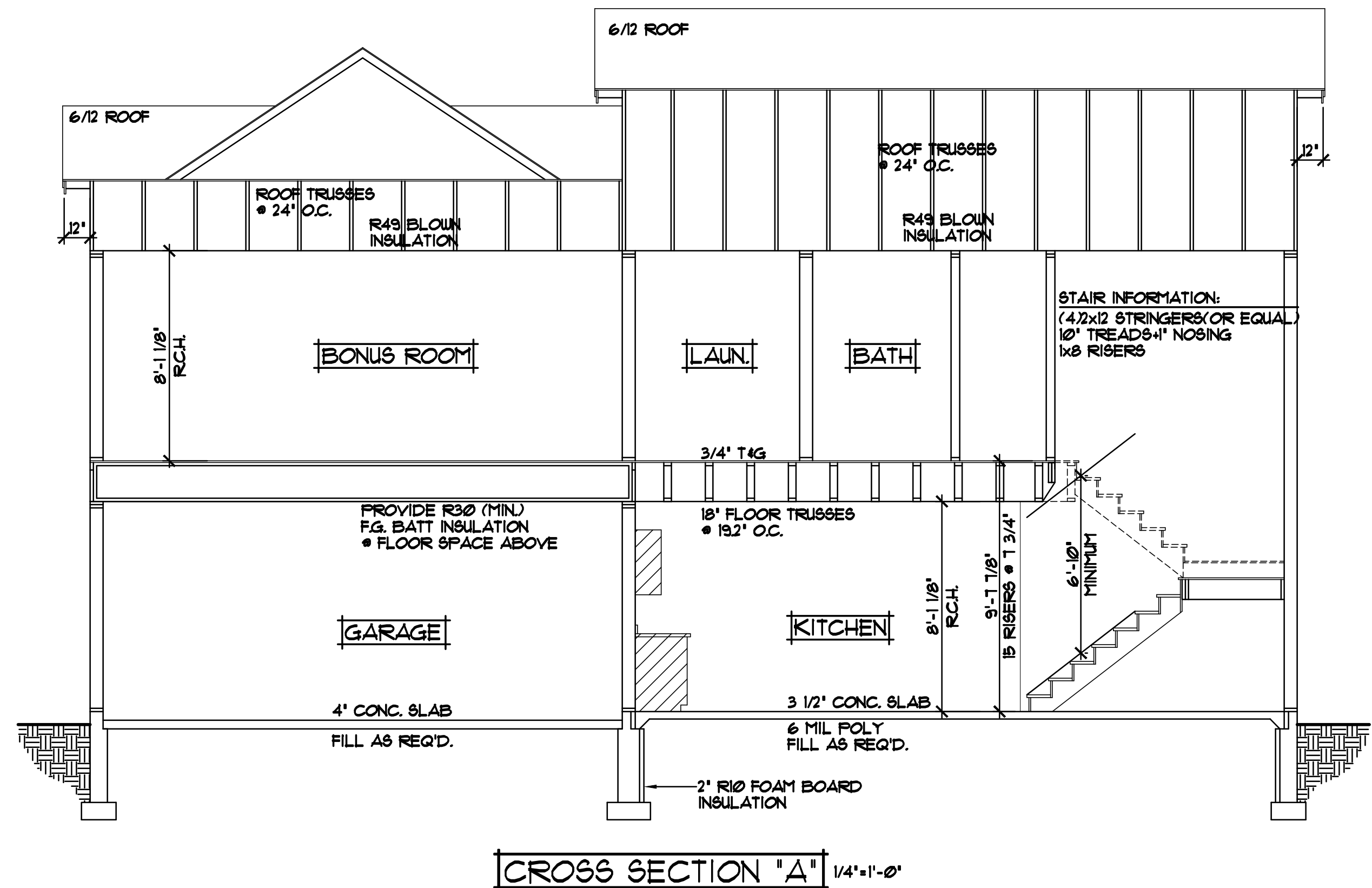
- WALL CONSTRUCTION:**
- HOUSE WRAP
 - 1/16" OSB SHEATHING
 - 2x6 STUDS • 16" O.C.
 - WINDOWS PER SPECIFICATIONS
 - R20 F.G. BATT INSULATION
 - 4 MIL POLY VAPOR RETARDER
 - 1/2" GYPSUM BOARD

- RIM AREA CONSTRUCTION:**
- R20 CLOSED CELL SPRAYED FOAM INSULATION • RIM AREA

- WALL CONSTRUCTION:**
- HOUSE WRAP
 - 1/16" OSB SHEATHING
 - 2x6 STUDS • 16" O.C.
 - WINDOWS PER SPECIFICATIONS
 - R20 F.G. BATT INSULATION
 - 4 MIL POLY VAPOR RETARDER
 - 1/2" GYPSUM BOARD

- SILL CONSTRUCTION:**
- 2x6 TR'D. SILL PLATE & SEALER
 - 1/2" ANCHOR BOLTS • 12" O.C.

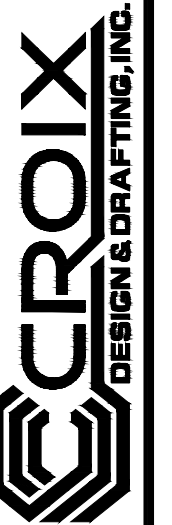
- FOUNDATION CONSTRUCTION:**
- POURED CONCRETE WALLS
 - R10 FOAM BOARD INSUL. • INTERIOR



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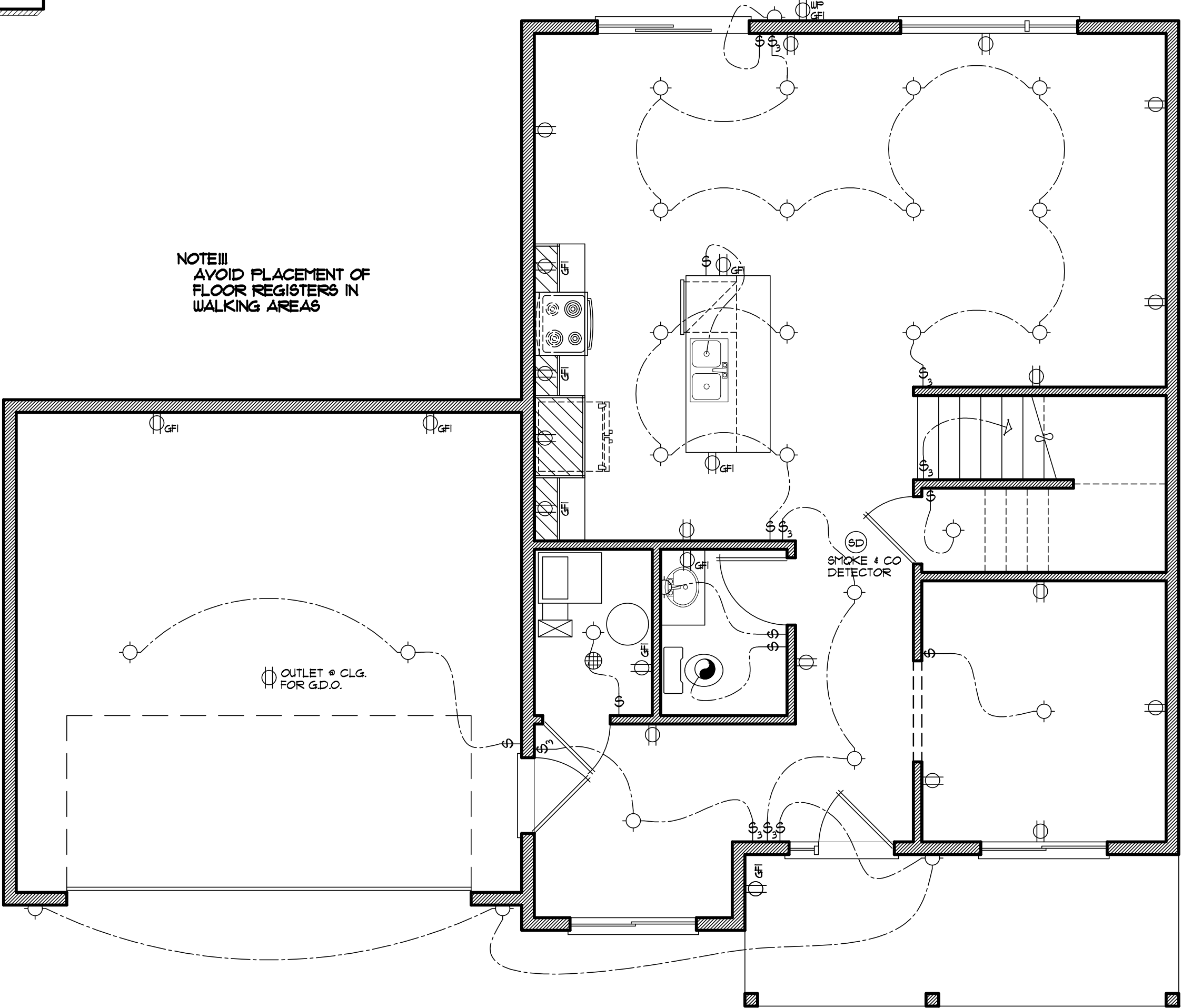
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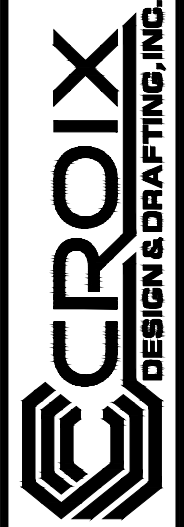
ELECTRICAL and MECHANICAL SYMBOLS	
▽ TELEPHONE JACK	● EXHAUST FAN
▼ TV/CABLE JACK	○ LIGHT - CEILING FIXTURE
\$ SWITCH - SINGLE	○ LIGHT - RECESSED FIXTURE
\$ ₃ SWITCH - THREE WAY	○ LIGHT - RECESSED DIRECTIONAL
\$ ₄ SWITCH - FOUR WAY	○ LIGHT - PENDANT
\$D SWITCH - DIMMER	△ LIGHT - TRACK
\$FC SWITCH - FAN CONTROLS	— LIGHT - FLUORESCENT
○ OUTLET - DUPLEX	○ LIGHT - WALL MOUNTED
○ OUTLET - DUPLEX SWITCHED	○ EXHAUST FAN/LIGHT COMBINATION
○ GFI OUTLET - GROUND FAULT	† HB HOSE BIBB
○ WP OUTLET - WEATHERPROOF	T GAS GAS OUTLET
○ OUTLET - FLOOR/SOFFIT MOUNT	○ HVAC- SUPPLY VENT
○ 220 OUTLET - RANGE OR DRYER	○ HVAC- RETURN VENT
○ SD SMOKE DETECTOR	



1st FLOOR ELECTRICAL PLAN 1/4"=1'-0"

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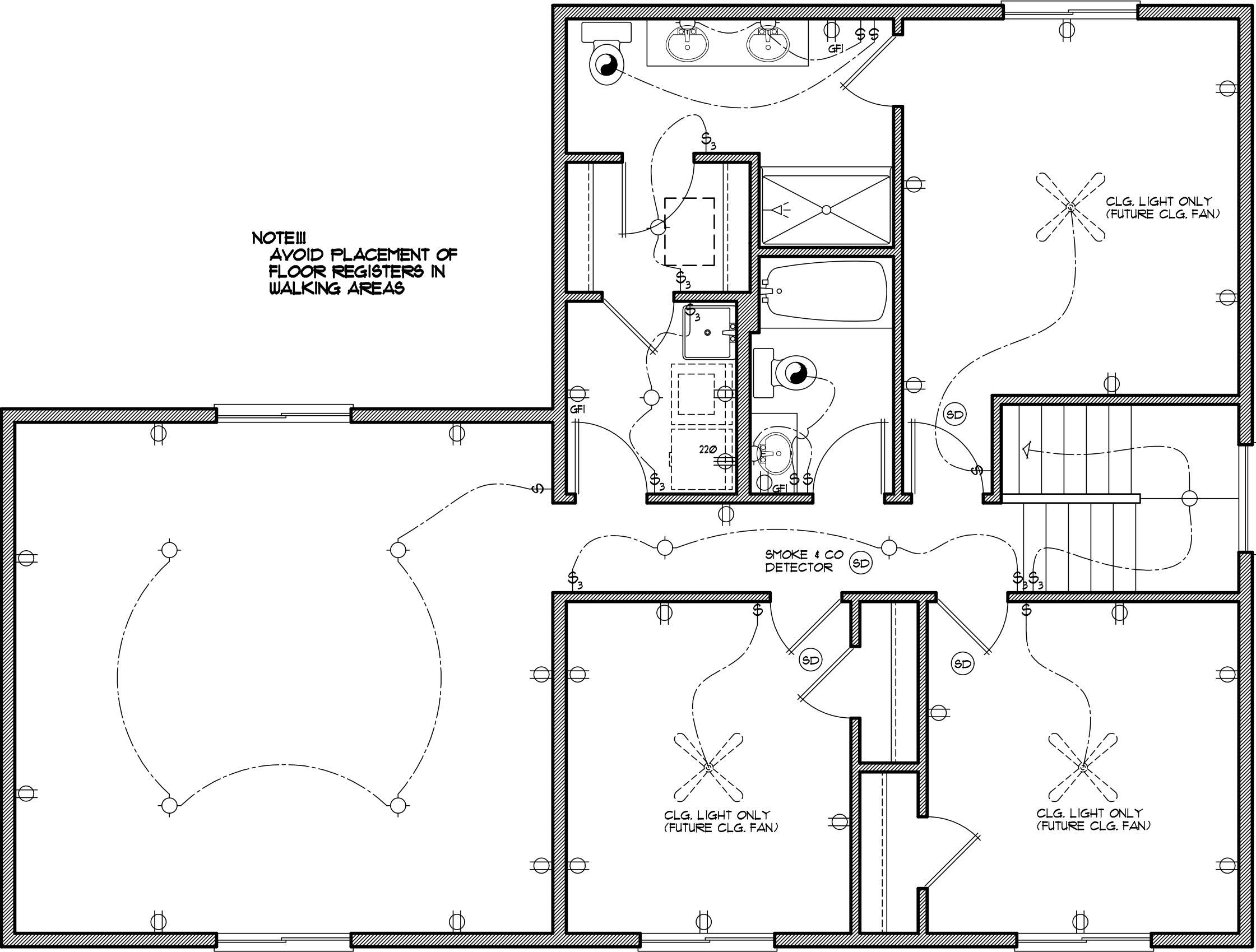
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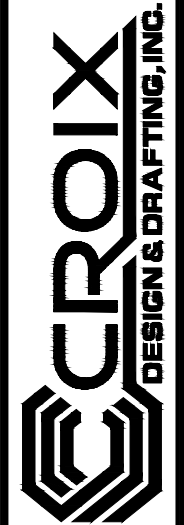
ELECTRICAL and MECHANICAL SYMBOLS	
TELEPHONE JACK	EXHAUST FAN
TV/CABLE JACK	LIGHT - CEILING FIXTURE
SWITCH - SINGLE	LIGHT - RECESSED FIXTURE
SWITCH - THREE WAY	LIGHT - RECESSED DIRECTIONAL
SWITCH - FOUR WAY	LIGHT - PENDANT
SWITCH - DIMMER	LIGHT - TRACK
SWITCH - FAN CONTROLS	LIGHT - FLUORESCENT
OUTLET - DUPLEX	LIGHT - WALL MOUNTED
OUTLET - DUPLEX SWITCHED	EXHAUST FAN/LIGHT COMBINATION
OUTLET - GROUND FAULT	HOSE BIBB
OUTLET - WEATHERPROOF	GAS OUTLET
OUTLET - FLOOR/SOFFIT MOUNT	HVAC- SUPPLY VENT
OUTLET - RANGE OR DRYER	HVAC- RETURN VENT
OUTLET - QUAD	
SMOKE DETECTOR	



2nd FLOOR ELECTRICAL PLAN 1/4"=1'-0"

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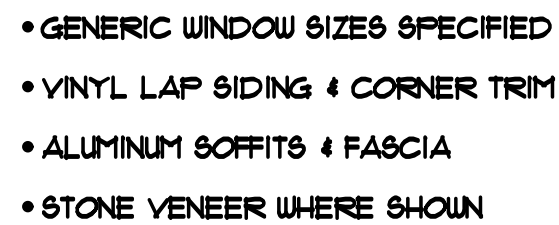
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- 8'-1 1/8" PLATE HEIGHT • ENTIRE FIRST FLOOR
(UNLESS NOTED OTHERWISE)
- 8'-1 1/8" PLATE HEIGHT • ENTIRE SECOND FLOOR
(UNLESS NOTED OTHERWISE)
- PROVIDE STANDARD ENERGY HEEL • ALL ROOF TRUSSES
(UNLESS NOTED OTHERWISE)



717 SQ. FT. FIRST FLOOR
932 SQ. FT. SECOND FLOOR
1649 SQ. FT. TOTAL

THE:

HANNAH-2 CAR GARAGE

REVISIONS	BY
XXXXXX	XX

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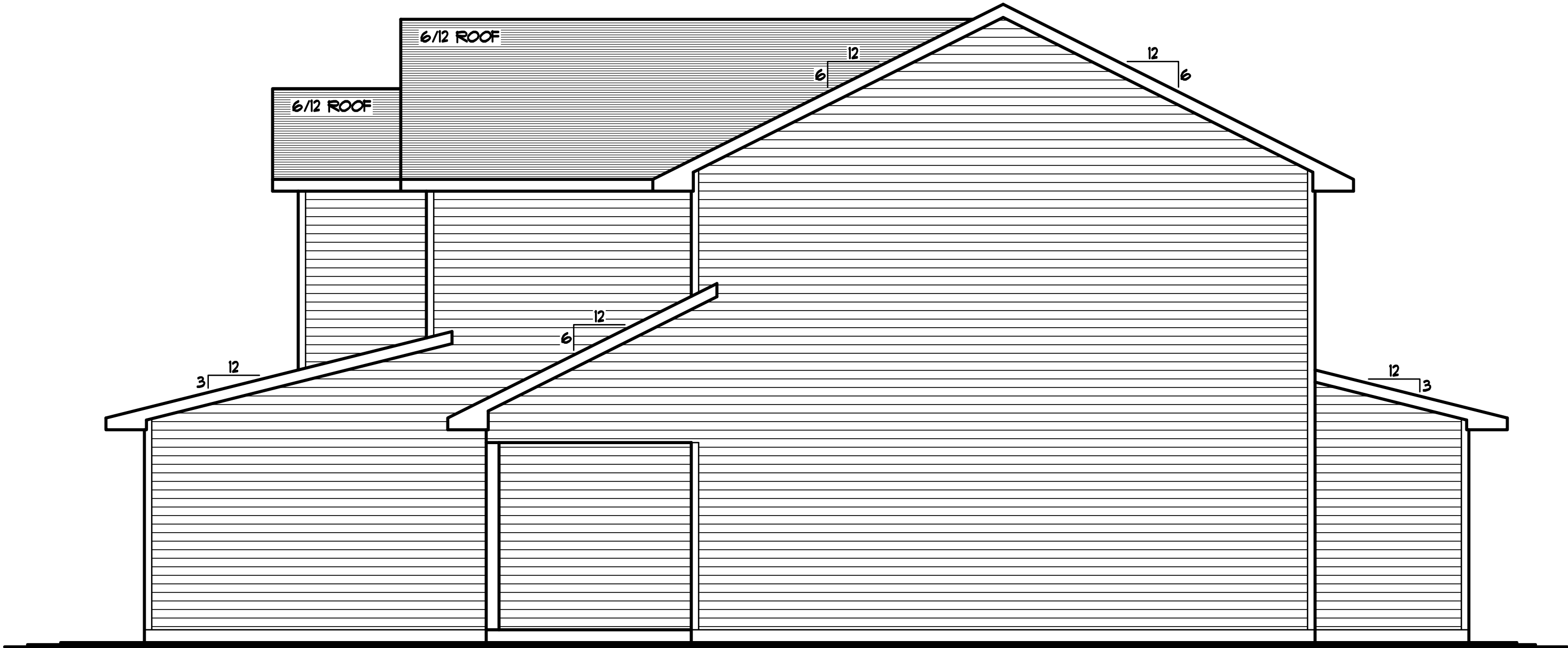
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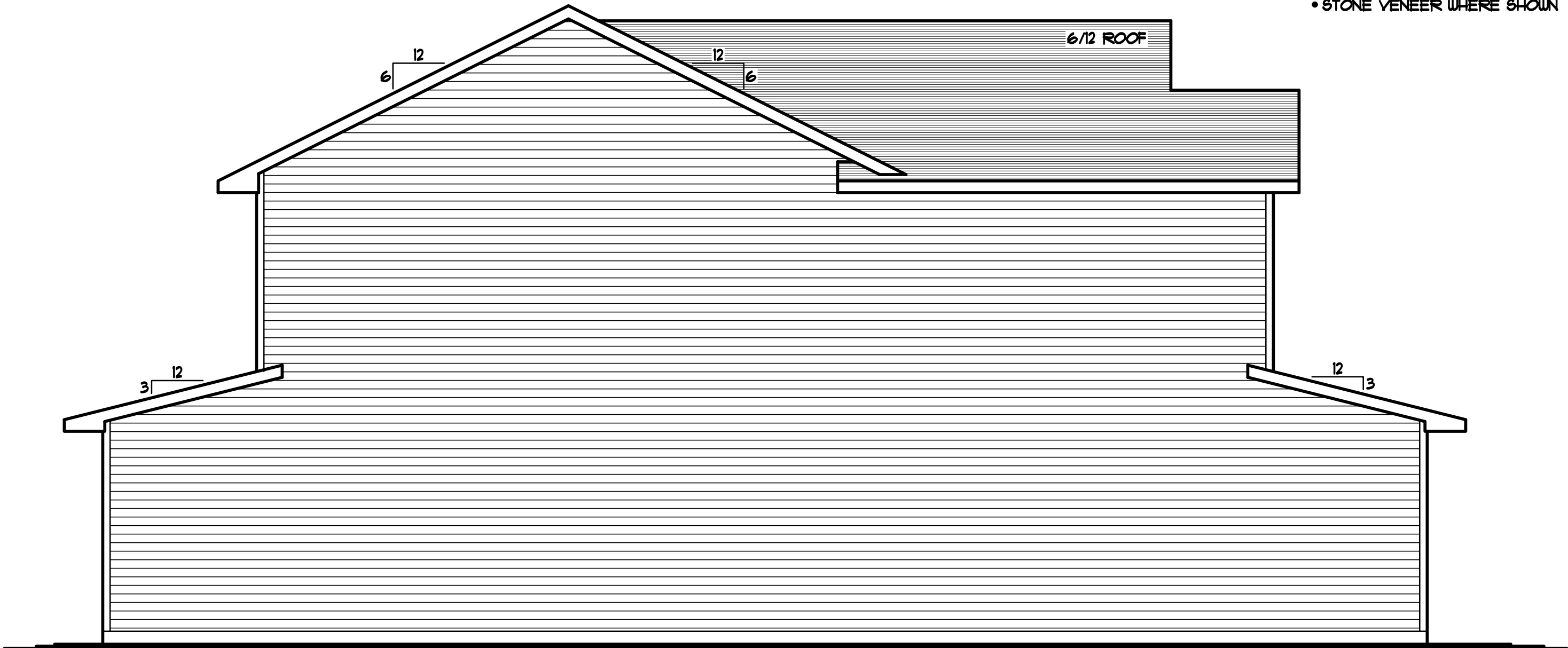
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SHEET 1 OF 7

GENERAL FRAMING & CONSTRUCTION NOTES

- 8'-1 1/8" PLATE HEIGHT • ENTIRE FIRST FLOOR
(UNLESS NOTED OTHERWISE)
- 8'-1 1/8" PLATE HEIGHT • ENTIRE SECOND FLOOR
(UNLESS NOTED OTHERWISE)
- PROVIDE STANDARD ENERGY HEEL • ALL ROOF TRUSSES
(UNLESS NOTED OTHERWISE)



RIGHT ELEVATION 1/4"=1'-0"



LEFT ELEVATION 1/4"=1'-0"

- GENERIC WINDOW SIZES SPECIFIED
- VINYL LAP SIDING & CORNER TRIM
- ALUMINUM SOFFITS & FASCIA
- STONE VENEER WHERE SHOWN

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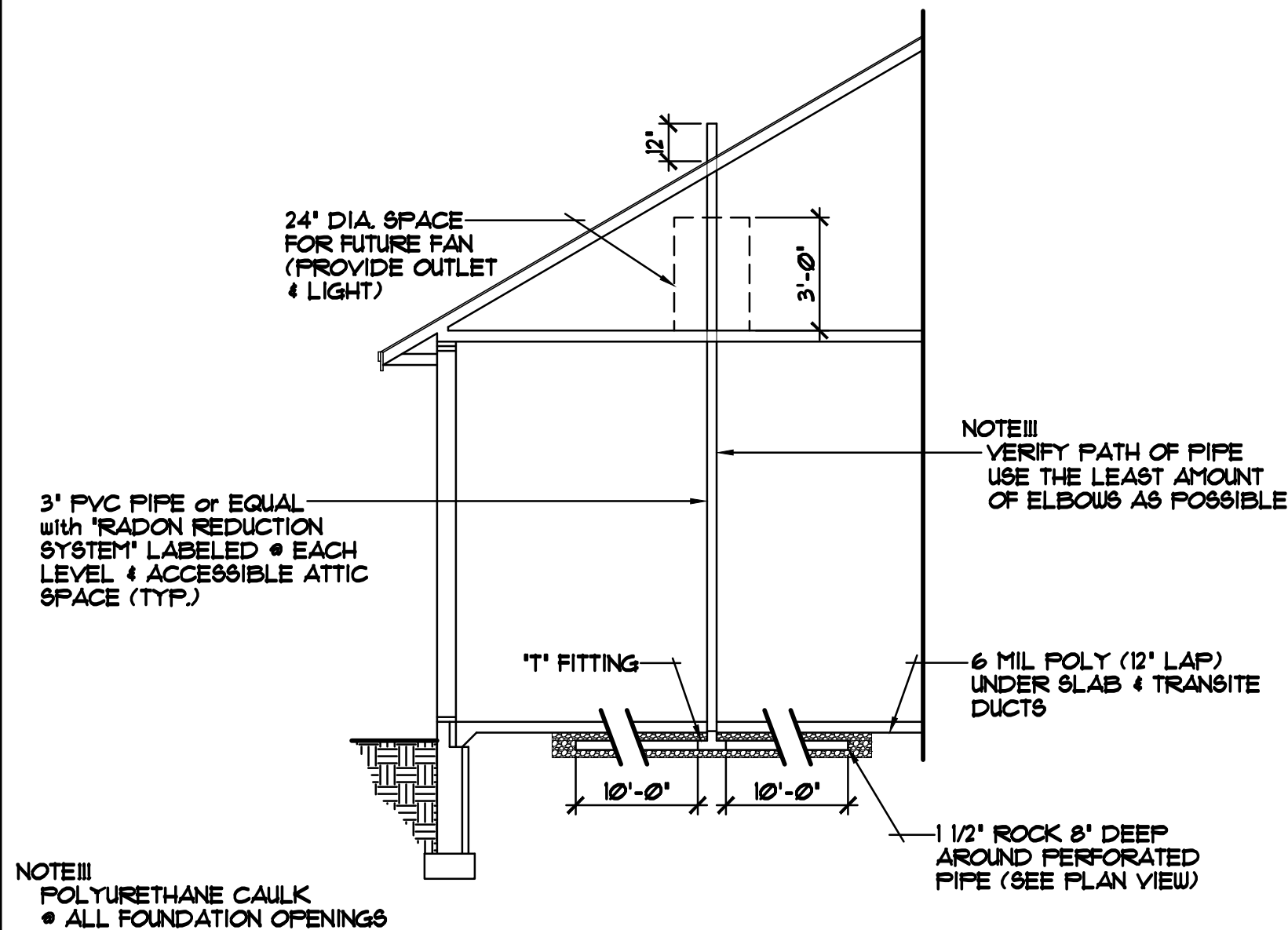
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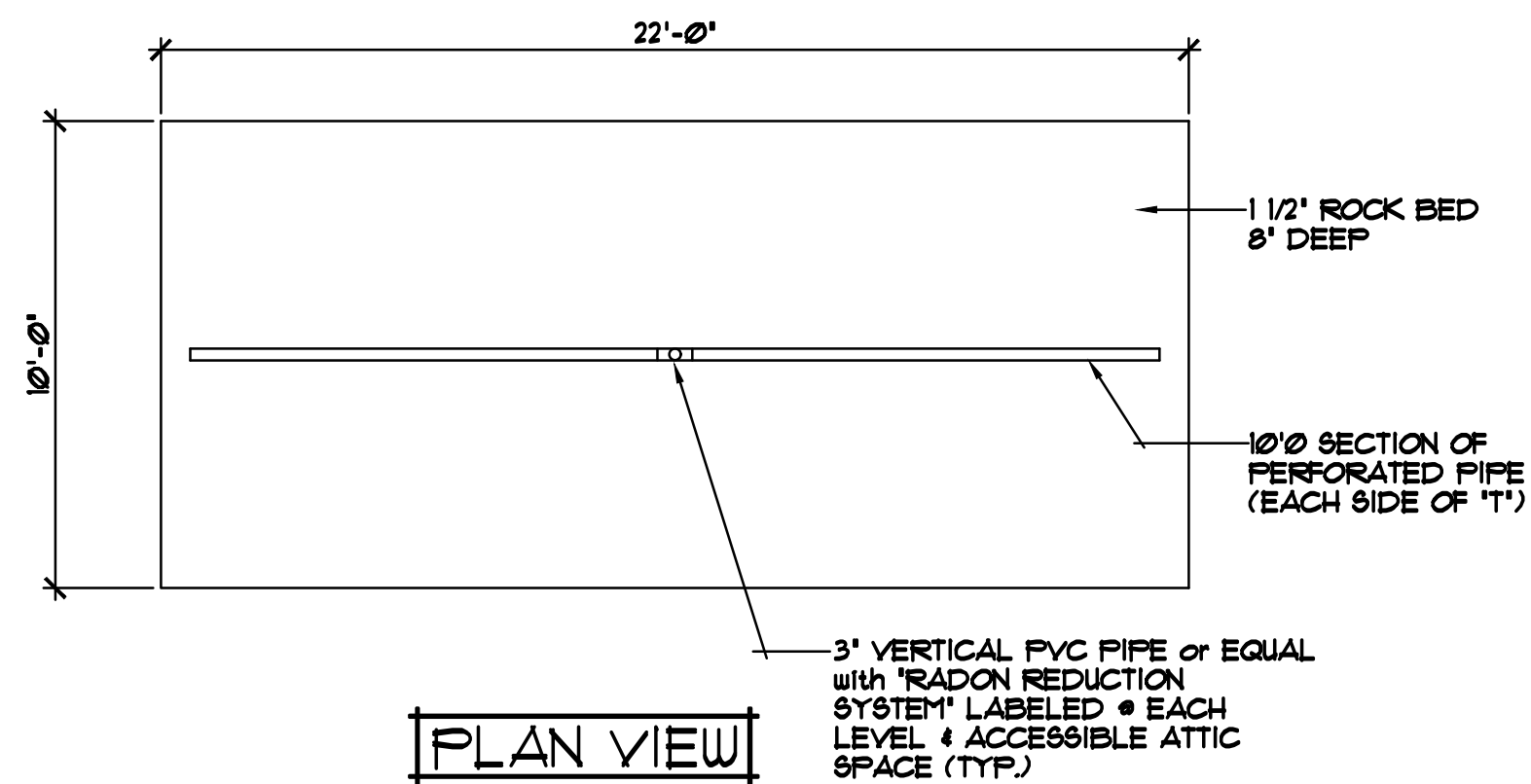
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GENERAL FRAMING & CONSTRUCTION NOTES

- POURED CONCRETE FOUNDATION, VERIFY ALL WALL DIMENSIONS w/ FOUNDATION CONTRACTOR
- PROVIDE 2" R10 FOAM BOARD INSULATION
 - EXTERIOR HOUSE FOUNDATION WALLS
- ALL FOOTINGS SHALL HAVE A COMPRESSIVE STRENGTH OF 5000 PSI PER TABLE R402.2

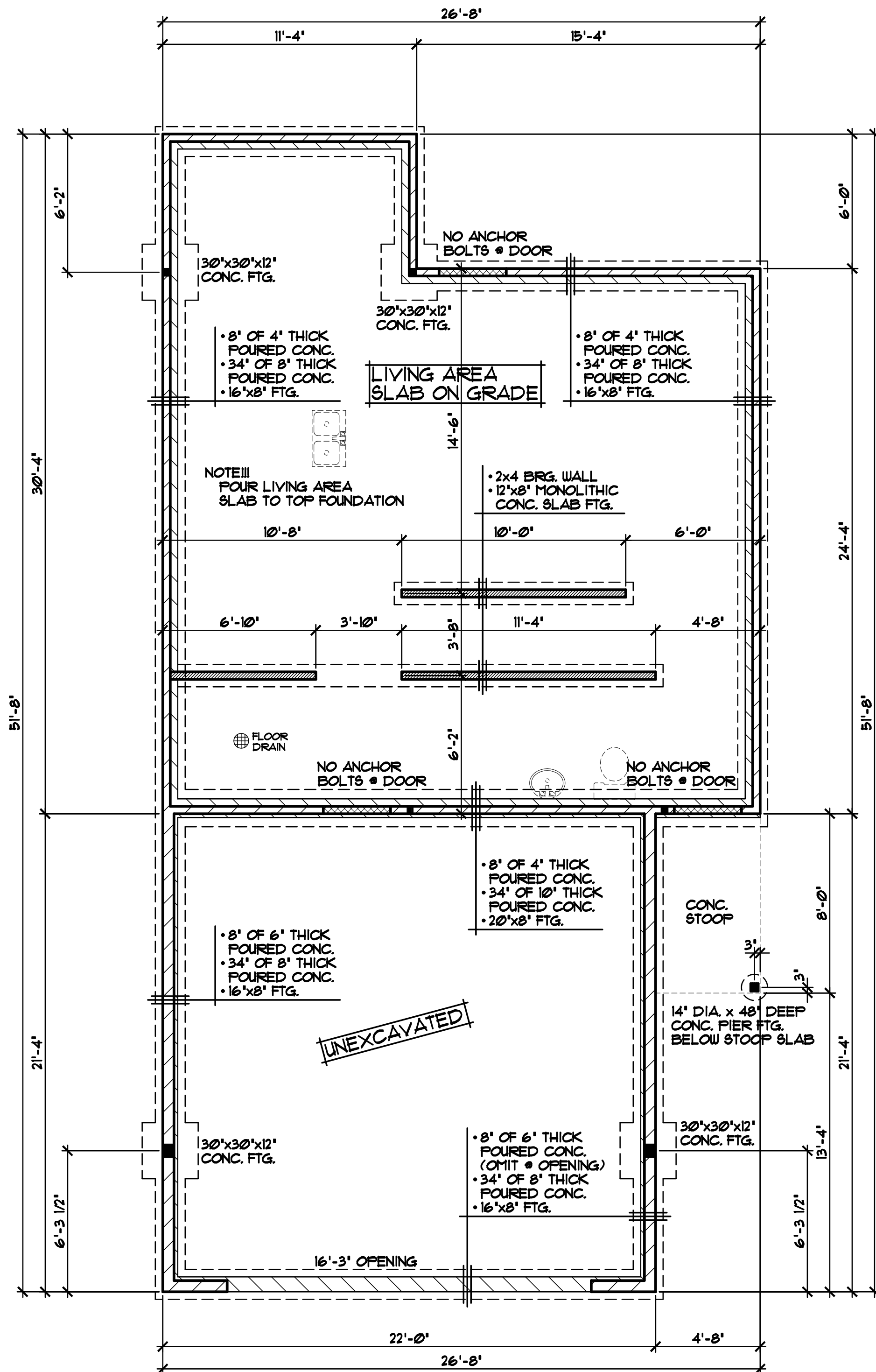


CROSS SECTION



PLAN VIEW

ALTERNATE METHOD FOR PASSIVE RADON MITIGATION SYSTEM



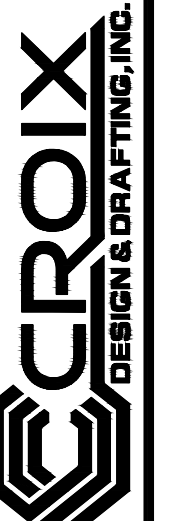
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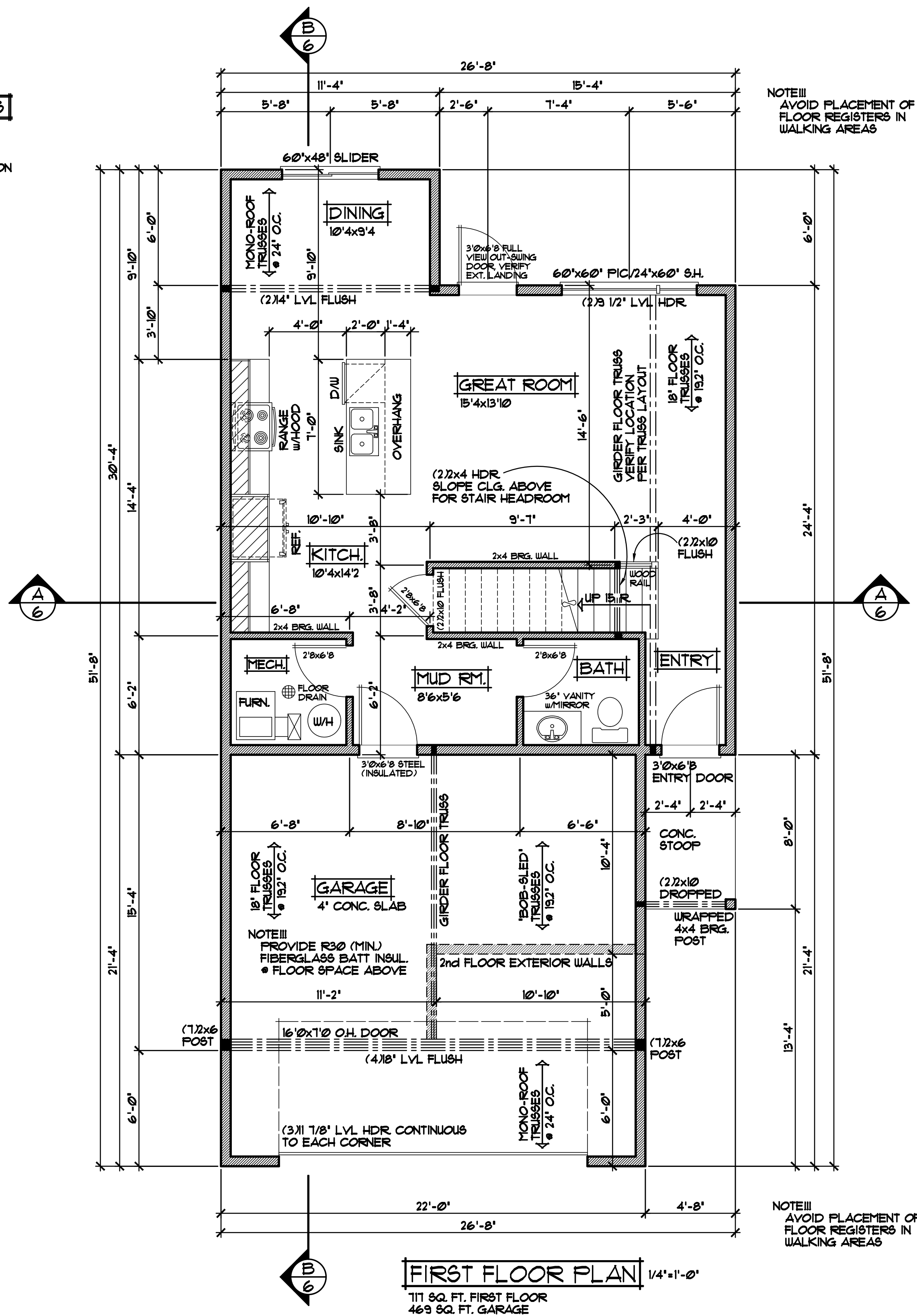
SHEET
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GENERAL FRAMING & CONSTRUCTION NOTES

- 8'-1 1/8" PLATE HEIGHT • ENTIRE FIRST FLOOR
(UNLESS NOTED OTHERWISE)
- 8'-1 1/8" PLATE HEIGHT • GARAGE FROM TOP OF FOUNDATION
(UNLESS NOTED OTHERWISE)
- FRAME ALL GARAGE WALLS w/2x6 STUDS @ 16" O.C.
(UNLESS NOTED OTHERWISE)
- FLOOR TRUSS DEFLECTION TO BE L/480 (MINIMUM)
- ALTERNATE HEADER/BREAM SIZES & TYPES MAY BE
SPECIFIED BY SUPPLIER
- FINISH ALL GARAGE WALLS with 1/2" TYPE 'X' GYP. BD.
& FINISH GARAGE CEILING with 5/8" TYPE 'X' GYP. BD.

DOOR & WINDOW NOTES

- GENERIC WINDOW SIZES
SPECIFIED VERIFY ROUGH OPENING SIZES
FOR DOORS & WINDOWS w/ MANUFACTURER
- ALL WINDOW & DOOR OPENINGS TO HAVE
(2)2x10 #2 GRADE HEADER or BETTER
(UNLESS NOTED OTHERWISE)
- TOP OF R.O. FOR ALL WINDOWS ON
1st FLOOR TO BE 6'-10 1/2" FROM
TOP OF FOUNDATION
(UNLESS NOTED OTHERWISE)



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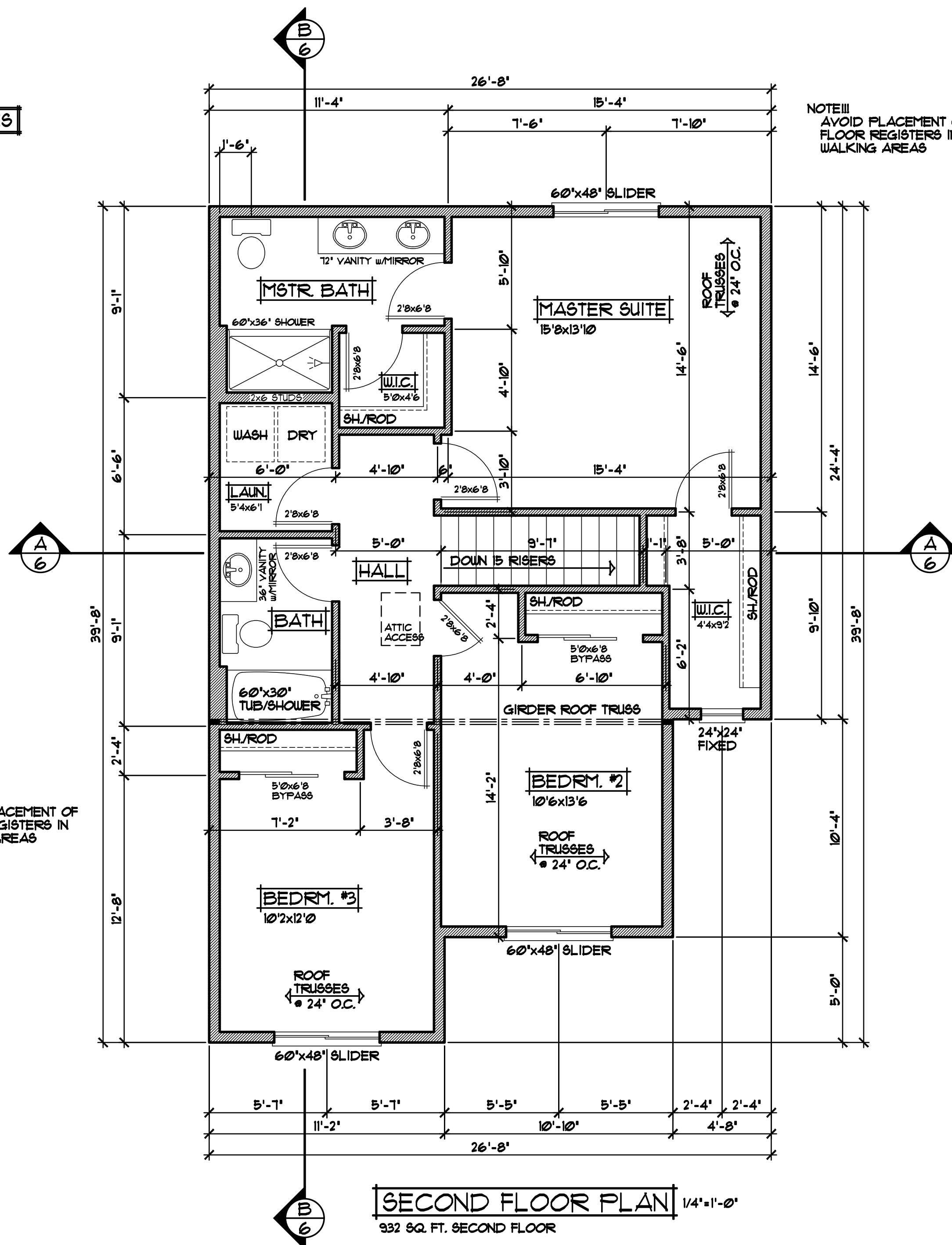
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- 8'-1 1/8' PLATE HEIGHT • ENTIRE SECOND FLOOR
(UNLESS NOTED OTHERWISE)
- ALTERNATE HEADER/BREAM SIZES & TYPES MAY BE
SPECIFIED BY SUPPLIER

- **GENERIC WINDOW SIZES**
SPECIFIED VERIFY ROUGH OPENING SIZES
FOR DOORS & WINDOWS w/ MANUFACTURER
- **ALL WINDOW & DOOR OPENINGS TO HAVE**
(2x10 #2 GRADE HEADER or BETTER
(UNLESS NOTED OTHERWISE)
- **TOP OF R.O. FOR ALL WINDOWS ON**
2nd FLOOR TO BE 6'-10 1/2" FROM
TOP OF SUB FLOOR
(UNLESS NOTED OTHERWISE)

NOTE!!!
AVOID PLACEMENT OF
FLOOR REGISTERS IN
WALKING AREAS

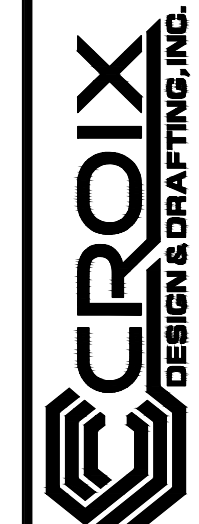


932 SQ. FT. SECOND FLOOR

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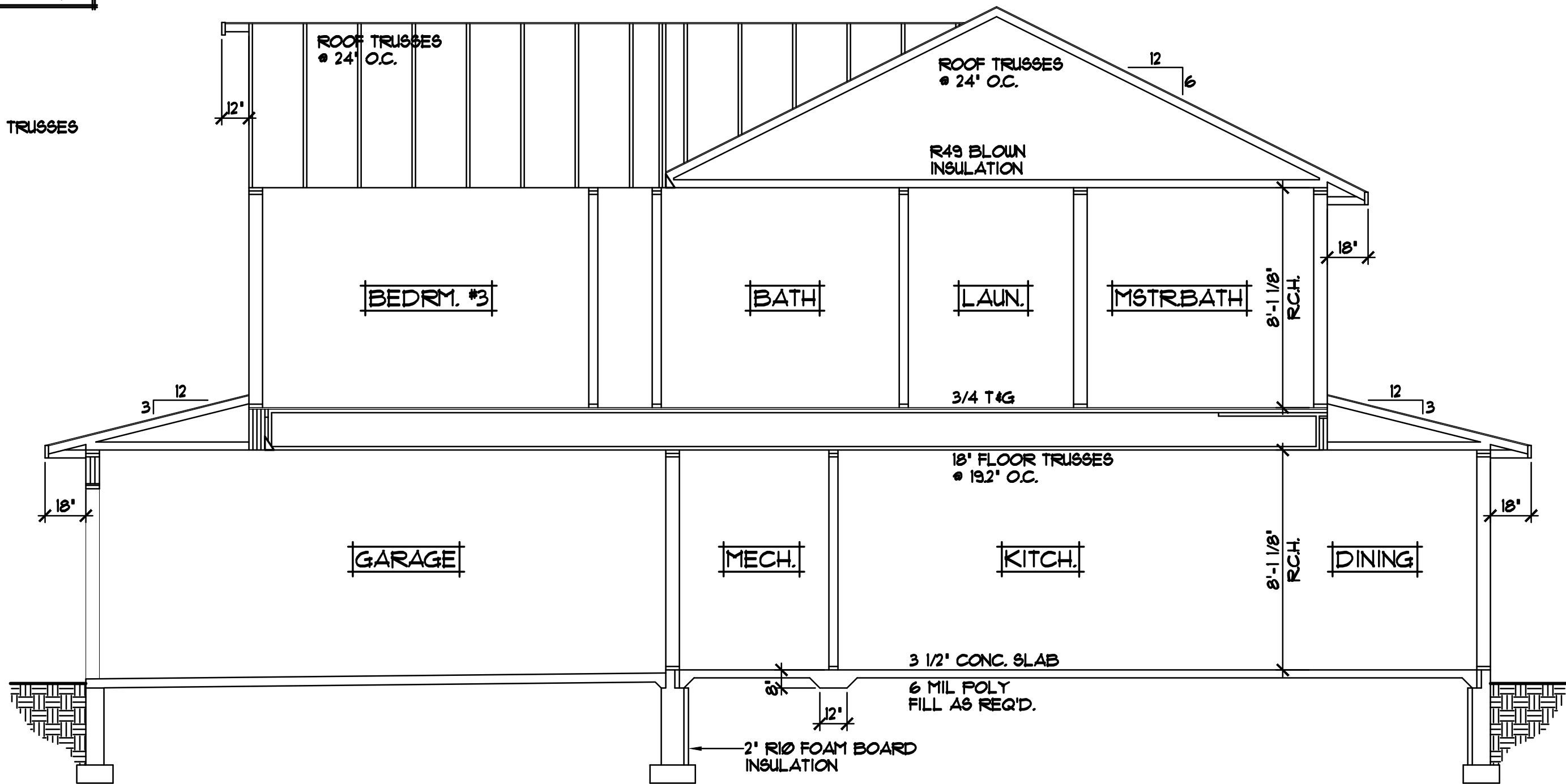


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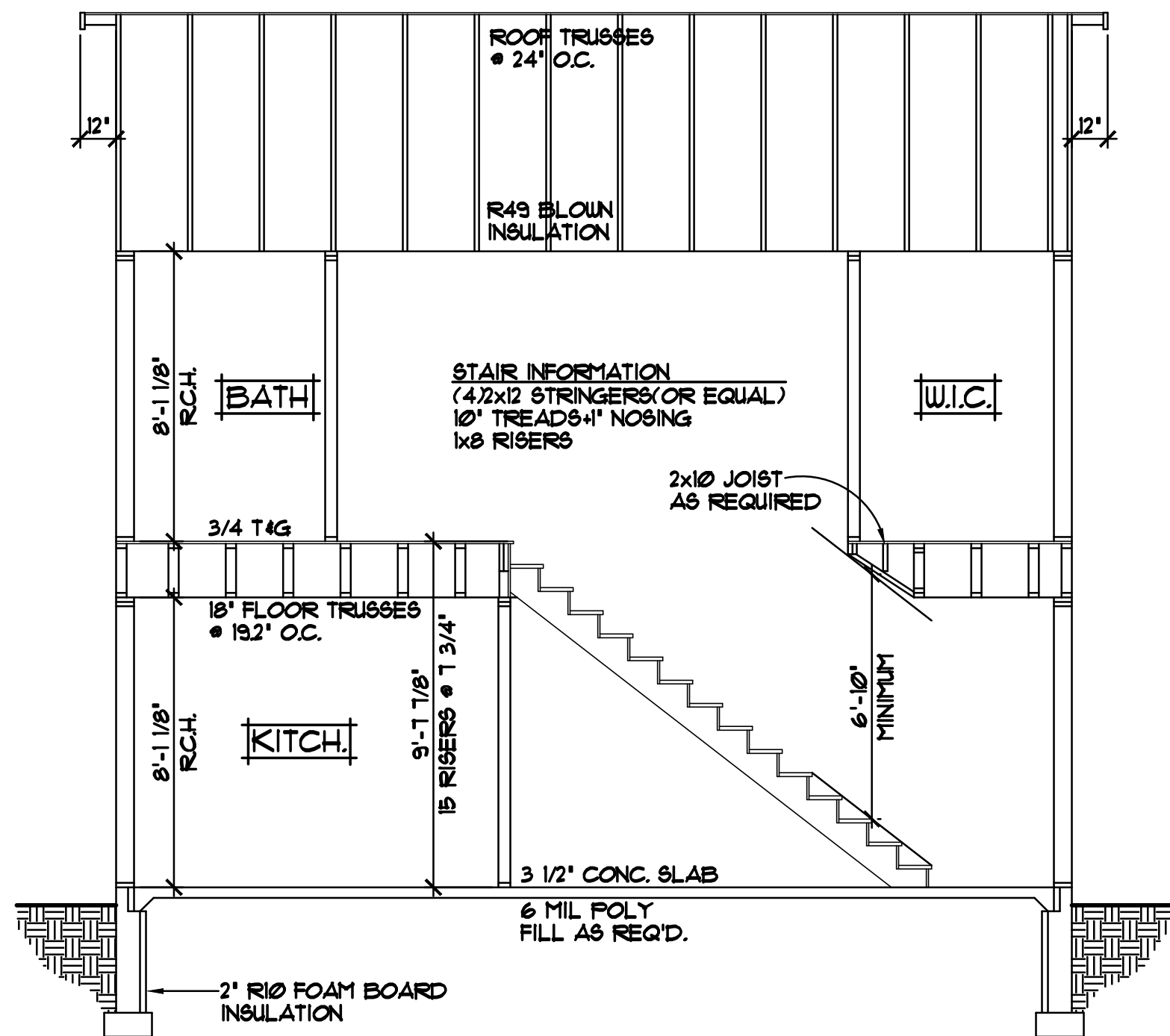
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GENERAL FRAMING & CONSTRUCTION NOTES

- 8'-1 1/8" PLATE HEIGHT • ENTIRE FIRST FLOOR
(UNLESS NOTED OTHERWISE)
- 8'-1 1/8" PLATE HEIGHT • ENTIRE SECOND FLOOR
(UNLESS NOTED OTHERWISE)
- PROVIDE STANDARD ENERGY HEEL • ALL ROOF TRUSSES
(UNLESS NOTED OTHERWISE)



CROSS SECTION "B" 1/4"=1'-0"



CROSS SECTION "A" 1/4"=1'-0"

ROOF CONSTRUCTION:

- PRE-MANUFACTURED ROOF TRUSSES
ENGINEERED BY SUPPLIER
- 1/16" ROOF VENT AT SOFFITS
- AIR CHUTE AT EACH TRUSS SPACE
- 15/32" OSB ROOF SHEATHING
- 15" ROOFING FELT
- ICE & WATER MEMBRANE APPLIED 24"
FAST EXTERIOR WALL
- ASPHALT SHINGLES

SOFFIT/FASCIA:

- 2x6 SUB-FASCIA
- ALUMINUM FASCIA
- ALUMINUM VENTED SOFFITS

WALL CONSTRUCTION:

- HOUSE WRAP
- 1/16" OSB SHEATHING
- 2x6 STUDS @ 16" O.C.
- WINDOWS PER SPECIFICATIONS
- R20 F.G. BATT INSULATION
- 4 MIL POLY VAPOR RETARDER
- 1/2" GYPSUM BOARD

RIM AREA CONSTRUCTION:

- R20 CLOSED CELL SPRAYED FOAM
INSULATION @ RIM AREA

WALL CONSTRUCTION:

- HOUSE WRAP
- 1/16" OSB SHEATHING
- 2x6 STUDS @ 16" O.C.
- WINDOWS PER SPECIFICATIONS
- R20 F.G. BATT INSULATION
- 4 MIL POLY VAPOR RETARDER
- 1/2" GYPSUM BOARD

SILL CONSTRUCTION:

- 2x6 TRT'D. SILL PLATE & SEALER
- 1/2" ANCHOR BOLTS @ 12" O.C.

FOUNDATION CONSTRUCTION:

- POURED CONCRETE WALLS
- R20 FOAM BOARD INSUL. @ INTERIOR

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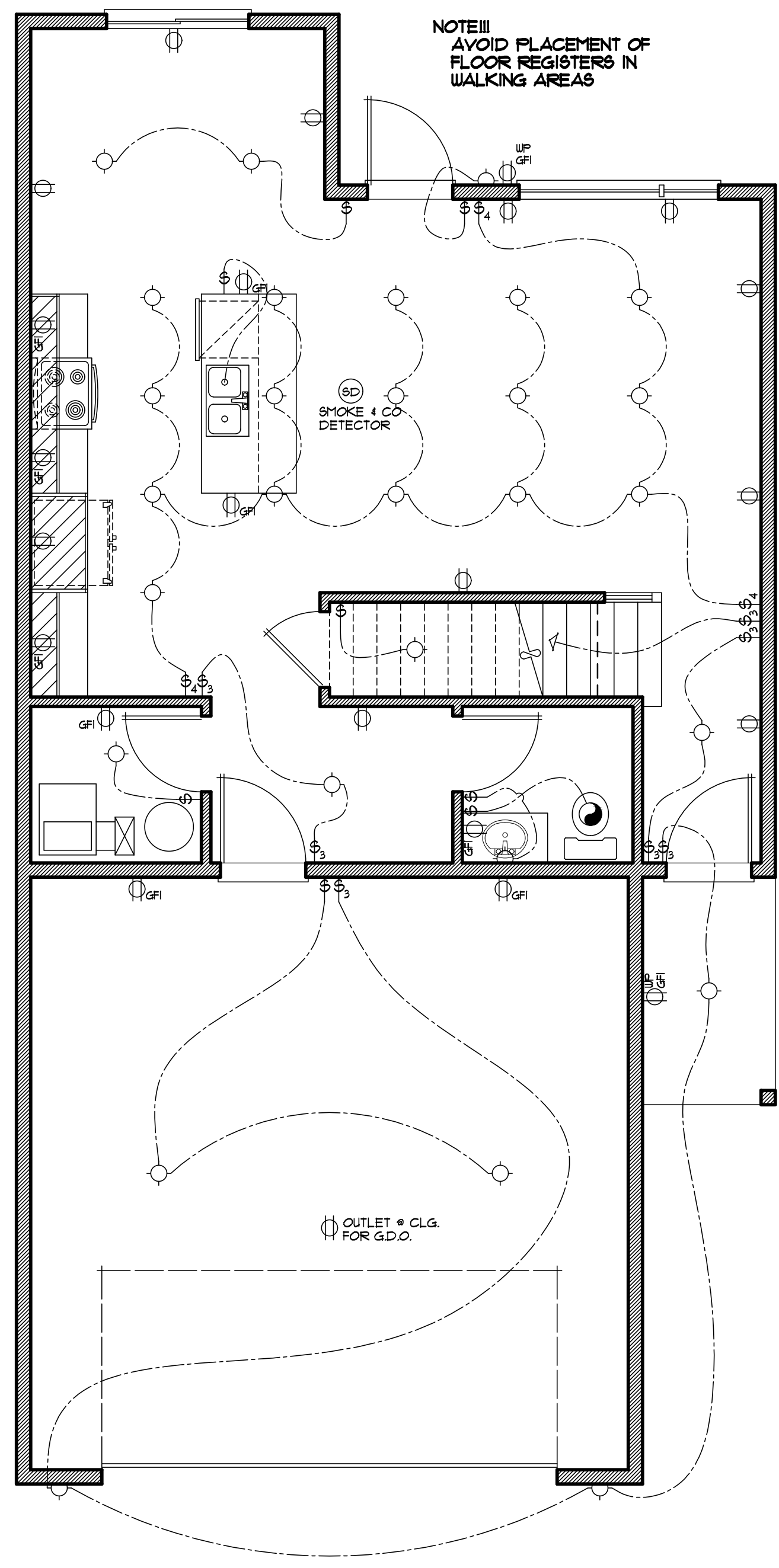
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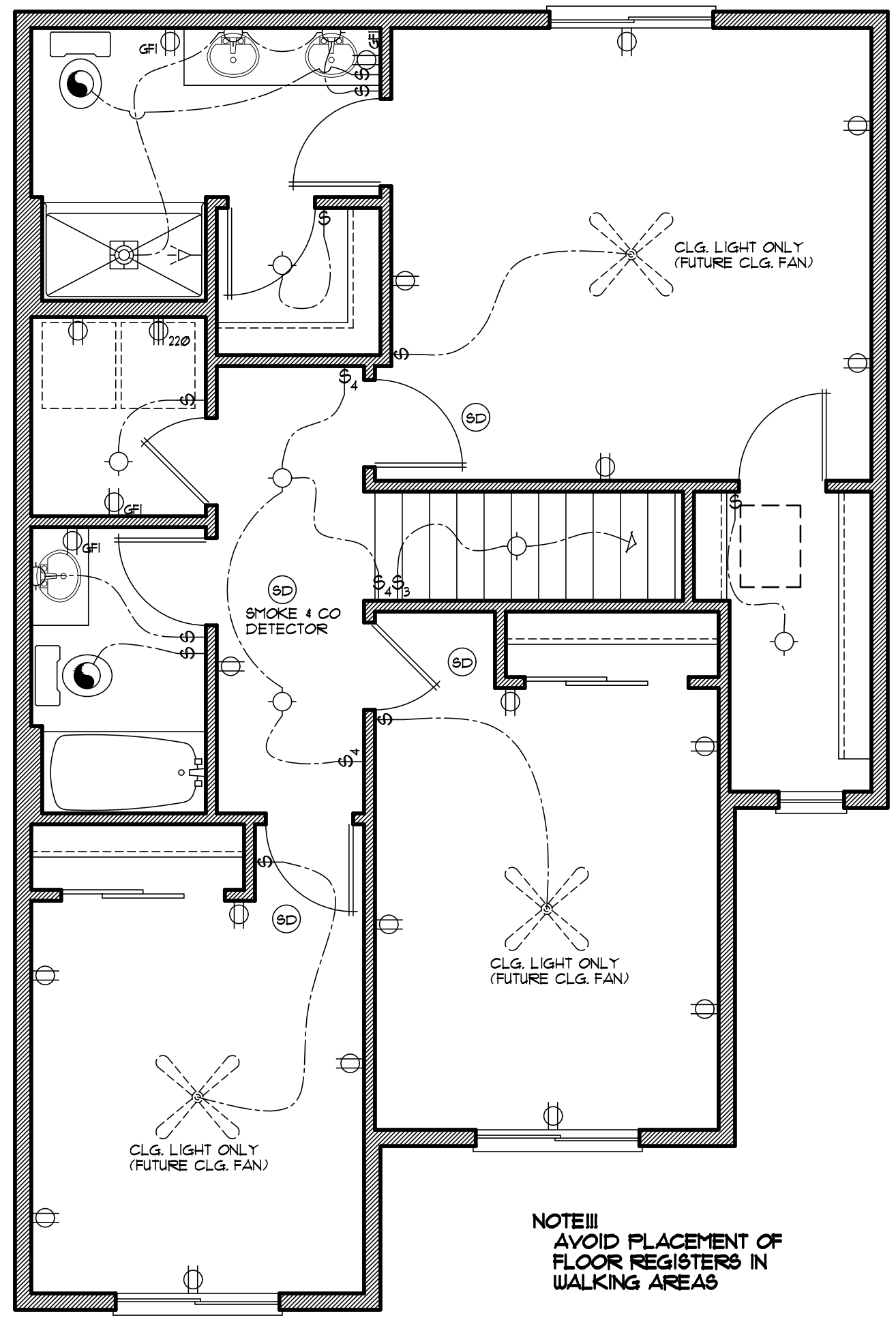
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1st FLOOR ELECTRICAL PLAN 1/4"=1'-0"

ELECTRICAL and MECHANICAL SYMBOLS			
▽	TELEPHONE JACK	☉	EXHAUST FAN
▼	TV/CABLE JACK	○	LIGHT - CEILING FIXTURE
\$	SWITCH - SINGLE	⊖	LIGHT - RECESSED FIXTURE
\$ ₃	SWITCH - THREE WAY	⊖	LIGHT - RECESSED DIRECTIONAL
\$ ₄	SWITCH - FOUR WAY	⊖	LIGHT - PENDANT
\$ ₀	SWITCH - DIMMER	⊖	LIGHT - TRACK
\$ _{FC}	SWITCH - FAN CONTROLS	⊖	LIGHT - FLUORESCENT
○	OUTLET - DUPLEX	⊖	LIGHT - WALL MOUNTED
○	OUTLET - DUPLEX SWITCHED	⊖	EXHAUST FAN/LIGHT COMBINATION
○	OUTLET - GROUND FAULT	⊖	HOSE BIBB
○	OUTLET - WEATHERPROOF	⊖	GAS OUTLET
○	OUTLET - FLOOR/SOFFIT MOUNT	⊖	HVAC - SUPPLY VENT
○	OUTLET - RANGE OR DRYER	⊖	HVAC - RETURN VENT
○	OUTLET - QUAD		
○	SMOKE DETECTOR		



2nd FLOOR ELECTRICAL PLAN 1/4"=1'-0"

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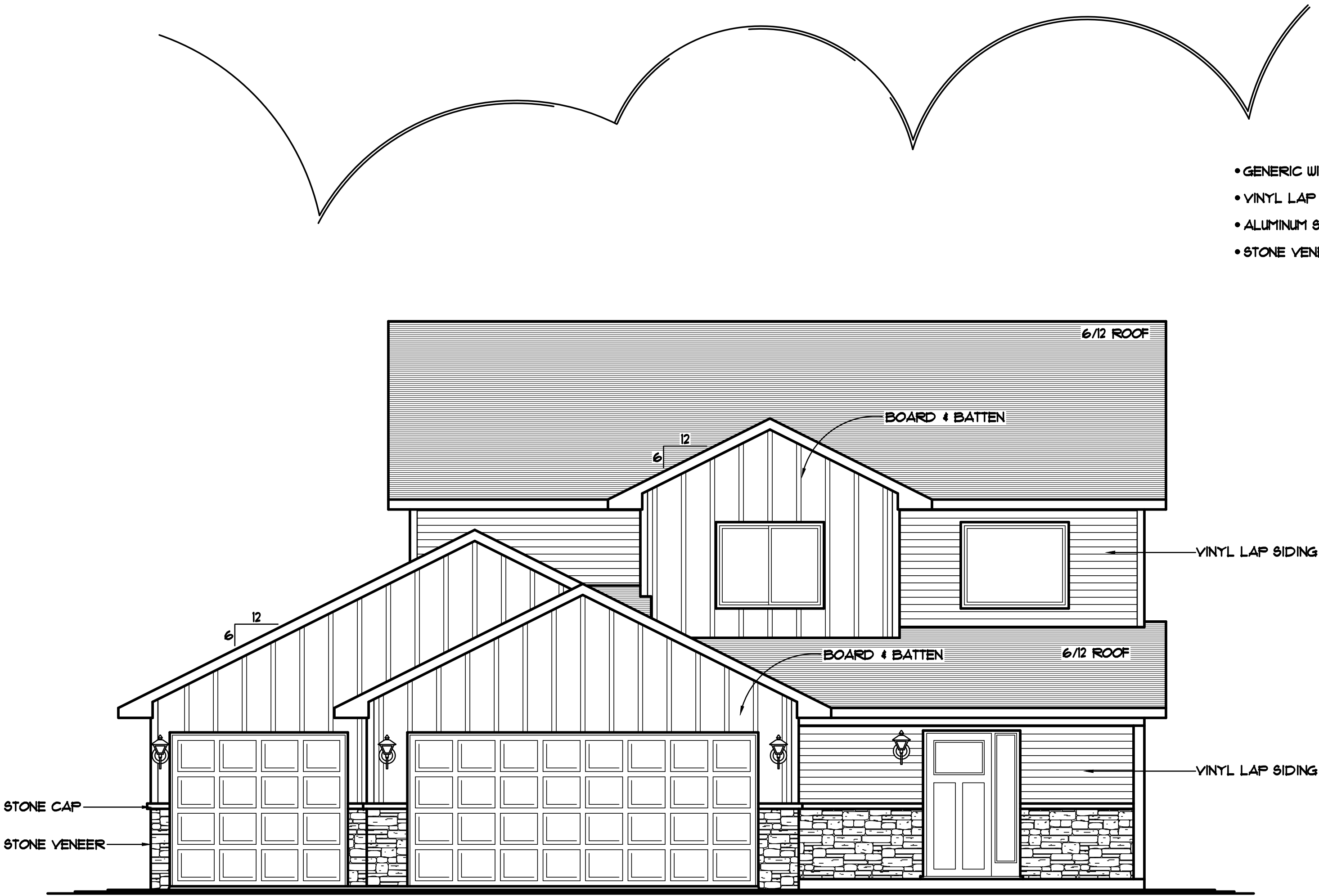
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SHEET
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GENERAL FRAMING & CONSTRUCTION NOTES

- 8' 1-1/8" PLATE HEIGHT • ENTIRE FIRST FLOOR
(UNLESS NOTED OTHERWISE)
- 8' 1-1/8" PLATE HEIGHT • ENTIRE SECOND FLOOR
(UNLESS NOTED OTHERWISE)
- 8' 1 1/8" PLATE HEIGHT • GARAGE FROM TOP OF FOUNDATION
(UNLESS NOTED OTHERWISE)
- PROVIDE STANDARD ENERGY HEEL • ALL ROOF TRUSSES
(UNLESS NOTED OTHERWISE)



- GENERIC WINDOW SIZES SPECIFIED
- VINYL LAP SIDING & CORNER TRIM
- ALUMINUM SOFFITS & FASCIA
- STONE VENEER WHERE SHOWN

FRONT ELEVATION 1/4" = 1'-0"

1020 SQ. FT. FIRST FLOOR
1032 SQ. FT. SECOND FLOOR
2052 SQ. FT. TOTAL
138 SQ. FT. STAIRS and OPEN AREA INCLUDED

THE:
EMILY-3 CAR GARAGE

REVISIONS	BY
15207	N.F.
18324	N.F.
19282	N.F.
20099	N.F.
20238	N.F.

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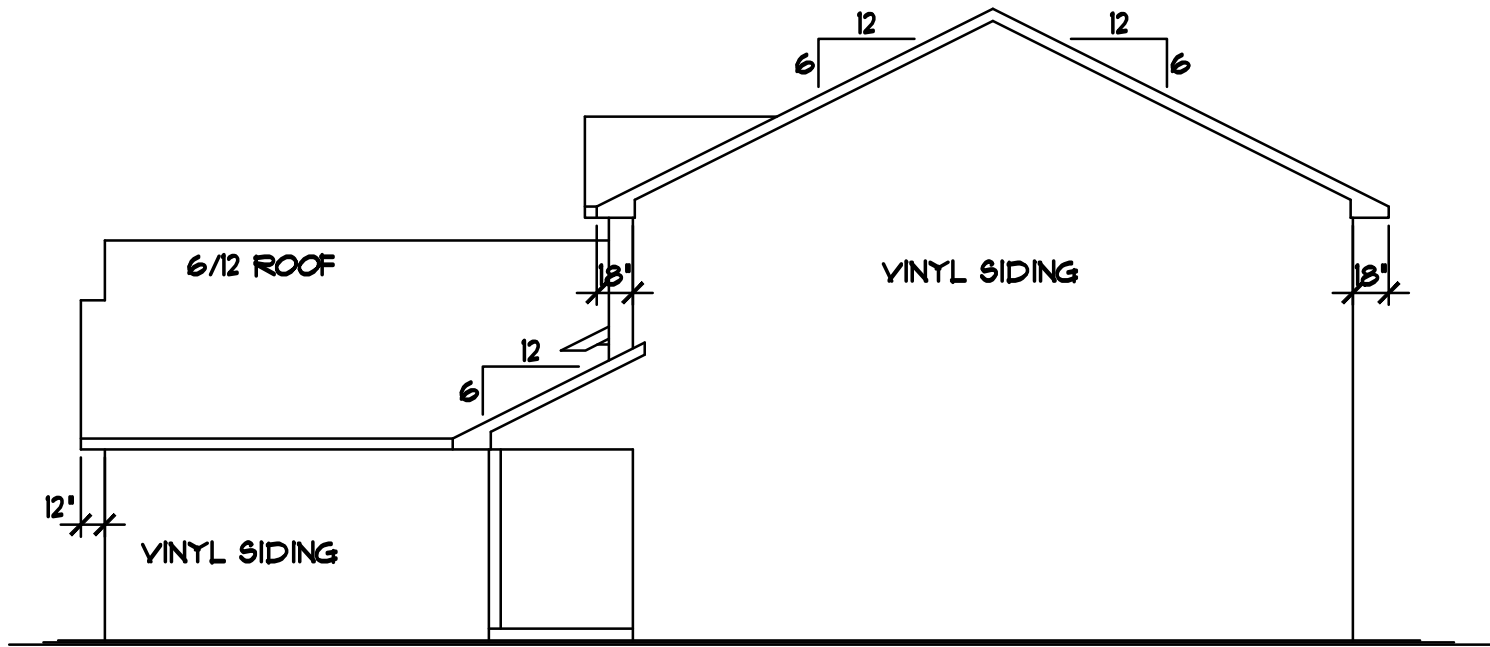
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CHECKED --
DATE: 7/07/2026
SCALE: AS NOTED (24"x18")
CADD FILE • 26103
SHEET 1 OF 8

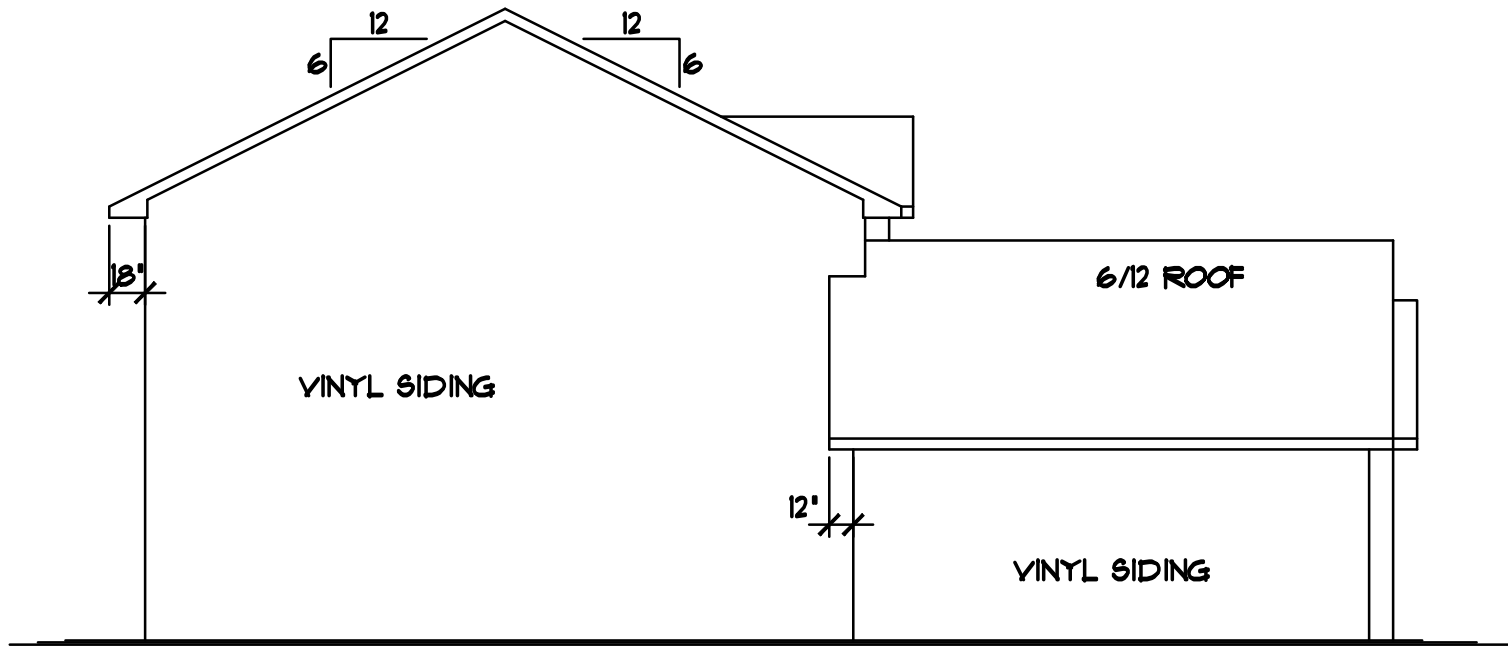
GENERAL FRAMING & CONSTRUCTION NOTES

- 8' 1-1/8" PLATE HEIGHT • ENTIRE FIRST FLOOR
(UNLESS NOTED OTHERWISE)
- 8' 1-1/8" PLATE HEIGHT • ENTIRE SECOND FLOOR
(UNLESS NOTED OTHERWISE)
- 8'-1 1/8" PLATE HEIGHT • GARAGE FROM TOP OF FOUNDATION
(UNLESS NOTED OTHERWISE)
- PROVIDE STANDARD ENERGY HEEL • ALL ROOF TRUSSES
(UNLESS NOTED OTHERWISE)



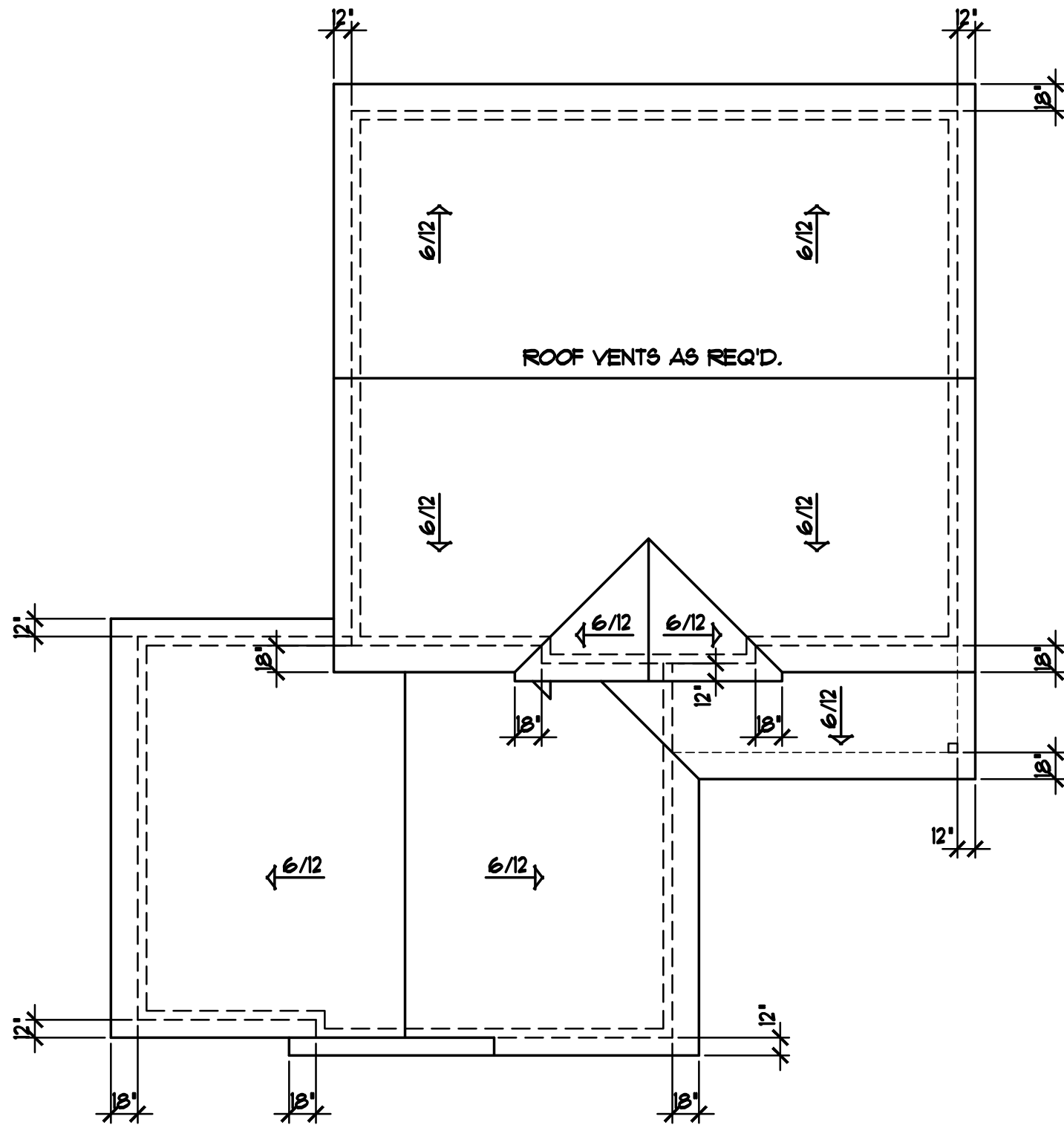
RIGHT ELEVATION

1/8"=1'-0"



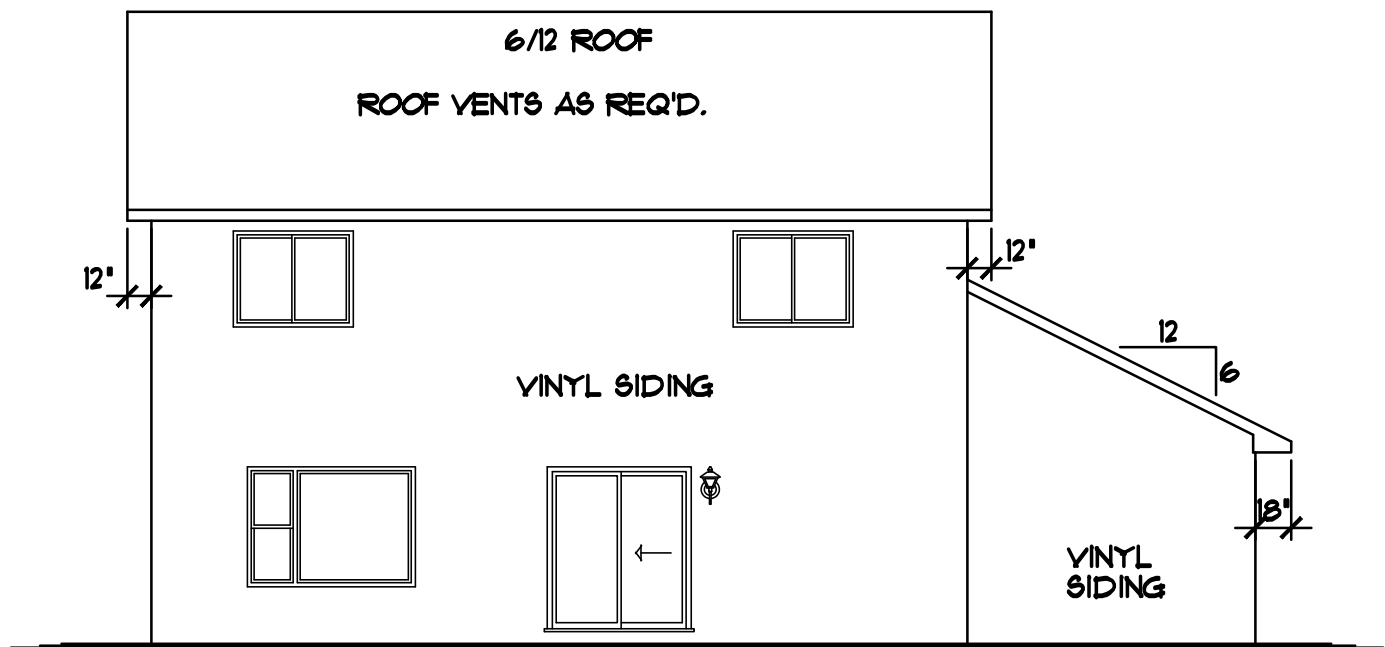
LEFT ELEVATION

1/8"=1'-0"



BIRD'S-EYE ROOF PLAN

1/8"=1'-0"



REAR ELEVATION

1/8"=1'-0"

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XXXXXX	0000	BY:XX

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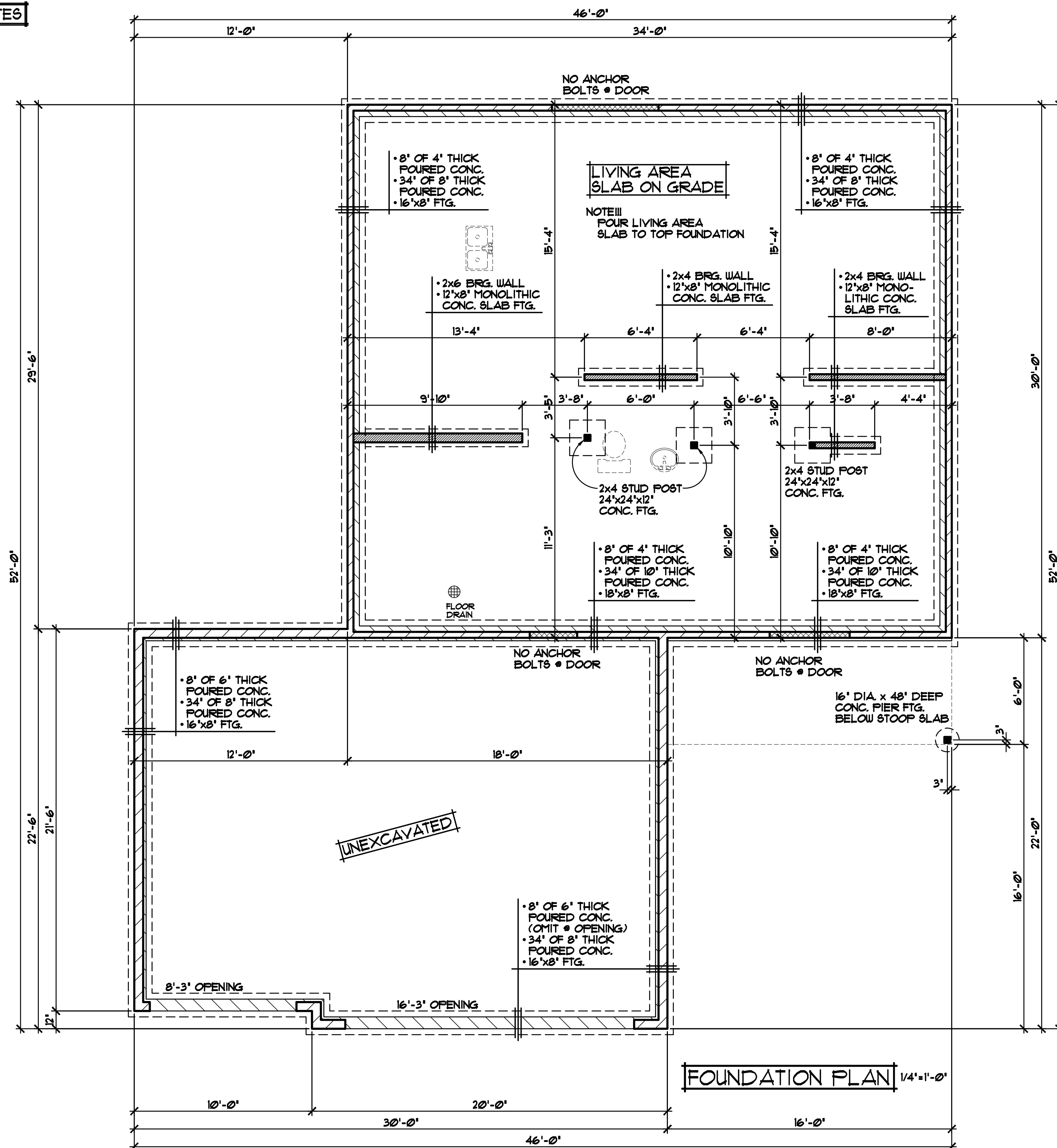
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- POURED CONCRETE FOUNDATION, VERIFY ALL WALL DIMENSIONS w/ FOUNDATION CONTRACTOR
- PROVIDE 2" R10 FOAM BOARD INSULATION
 - EXTERIOR HOUSE FOUNDATION WALLS
- ALL FOOTINGS SHALL HAVE A COMPRESSIVE STRENGTH OF 5000 PSI PER TABLE R402.2



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CROIX DESIGN and DRG
COLLEGE TILES

BY SIGNING AND RETURNING THESE BUILDING AND LOGGING PERMITS, THE WORKERS HAVE AGREED TO ACCEPT THE TERMS OF THE PERMIT. THE CONTRACTOR MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR ANY CHANGES OR ADJUSTMENTS REQUIRED DURING ACTUAL CONSTRUCTION. NO REPRESENTATION IS MADE OR IMPLIED FOR ACCURACY.

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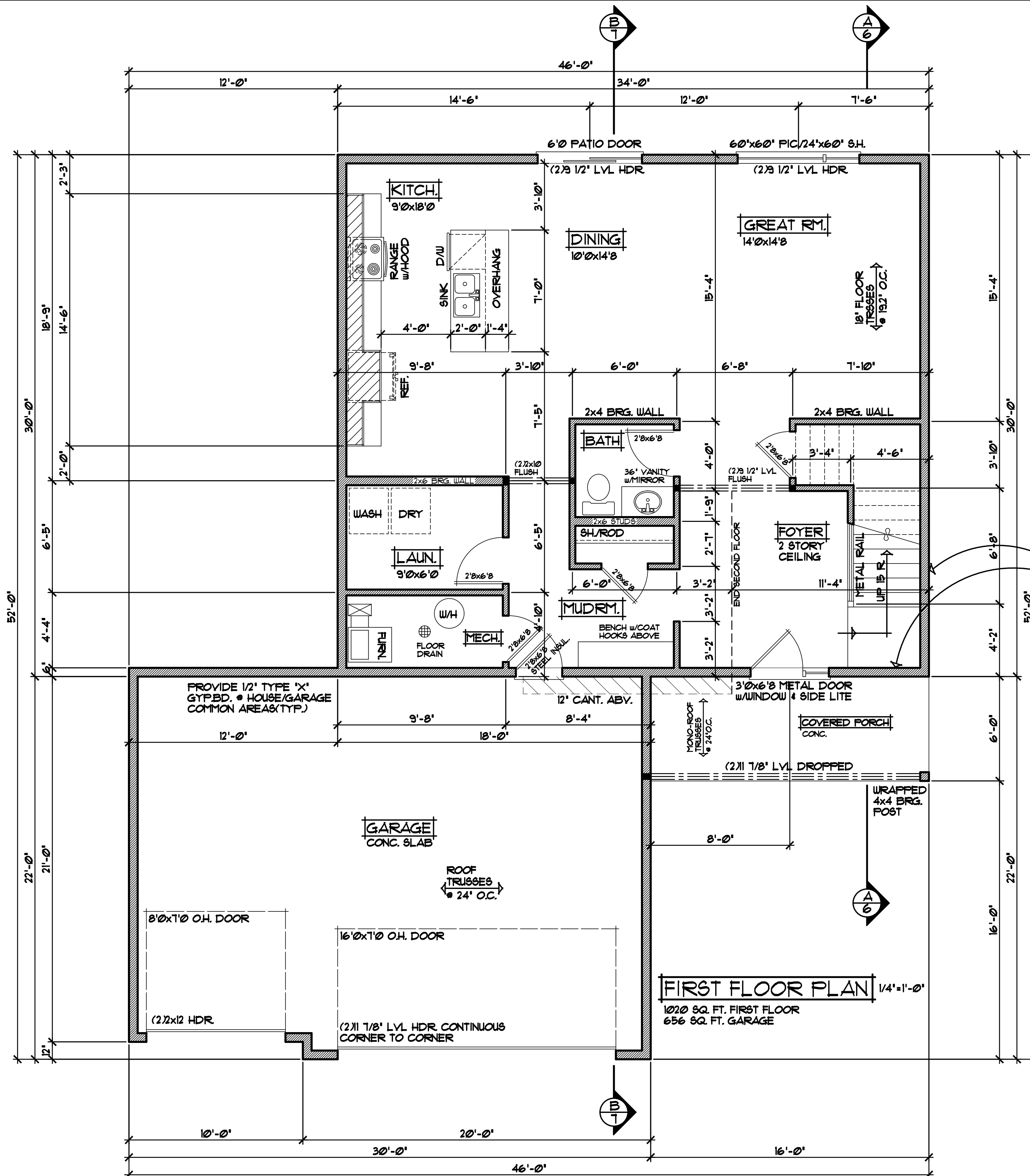


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GENERAL FRAMING & CONSTRUCTION NOTES

- 8' 1-1/8" PLATE HEIGHT • ENTIRE FIRST FLOOR (UNLESS NOTED OTHERWISE)
- 8' 1-1/8" PLATE HEIGHT • GARAGE FROM TOP OF FOUNDATION (UNLESS NOTED OTHERWISE)
- FRAME ALL GARAGE WALLS w/2x6 STUDS • 16" O.C. (UNLESS NOTED OTHERWISE)
- FLOOR TRUSS DEFLECTION TO BE L/480 (MINIMUM)
- ALTERNATE HEADER/BEAM SIZES & TYPES MAY BE SPECIFIED BY SUPPLIER

DOOR & WINDOW NOTES

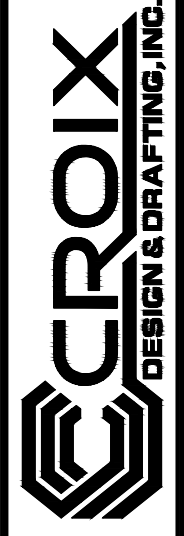
- GENERIC WINDOW SIZES SPECIFIED VERIFY ROUGH OPENING SIZES FOR DOORS & WINDOWS w/ MANUFACTURER
- ALL WINDOW & DOOR OPENINGS TO HAVE (2)2x10 #2 GRADE HEADER or BETTER (UNLESS NOTED OTHERWISE)
- TOP OF RO. FOR ALL WINDOWS ON 1st FLOOR TO BE 6'-10 1/2" FROM TOP OF FOUNDATION (UNLESS NOTED OTHERWISE)

NOTE III
FRAME EXTERIOR STAIR WELL WALLS w/ENGINEERED 2x6 STUDS, VERIFY TALL WALL DESIGN w/SUPPLIER

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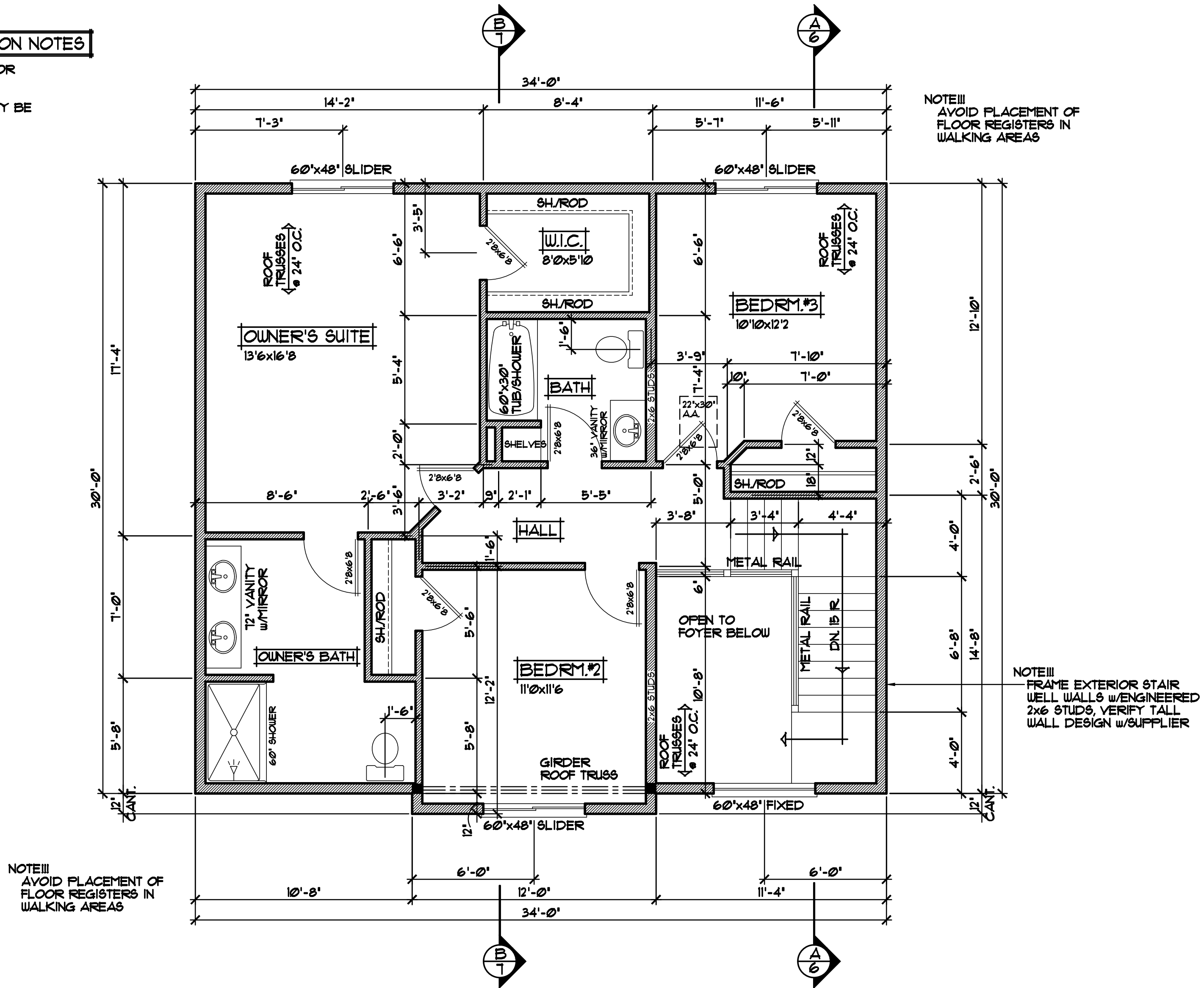
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GENERAL FRAMING & CONSTRUCTION NOTES

- 8'-1 1/8" PLATE HEIGHT • ENTIRE SECOND FLOOR (UNLESS NOTED OTHERWISE)
- ALTERNATE HEADER/BEAM SIZES & TYPES MAY BE SPECIFIED BY SUPPLIER

DOOR & WINDOW NOTES

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- ALL WINDOW & DOOR OPENINGS TO HAVE (2)2x10 #2 GRADE HEADER or BETTER (UNLESS NOTED OTHERWISE)
- TOP OF R.O. FOR ALL WINDOWS ON 2nd FLOOR TO BE 6'-10 1/2" FROM TOP OF SUB FLOOR (UNLESS NOTED OTHERWISE)



SECOND FLOOR PLAN 1/4"=1'-0"
1032 SQ. FT. (138 SQ. FT. OF STAIRS/OPEN AREA INCLUDED)

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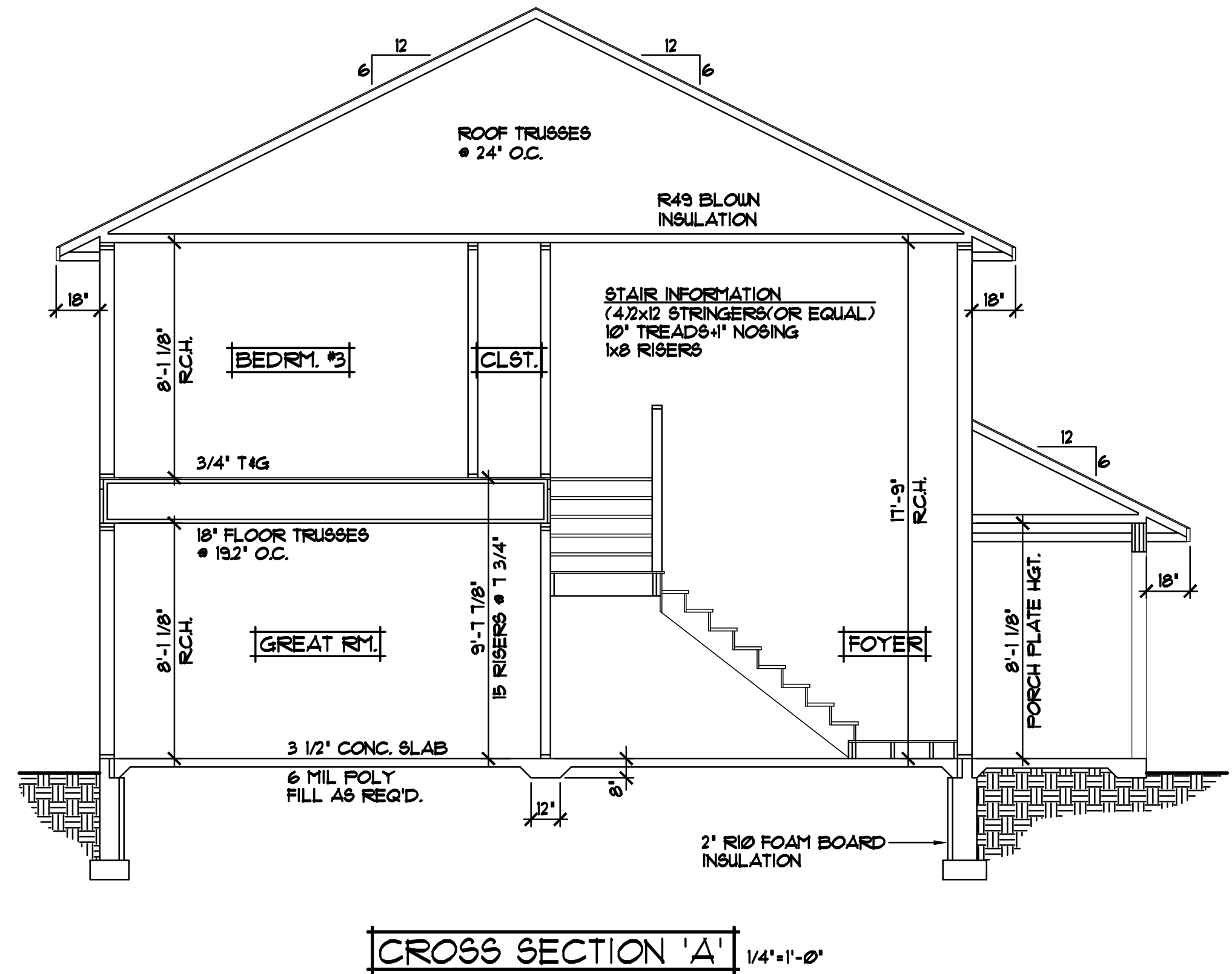
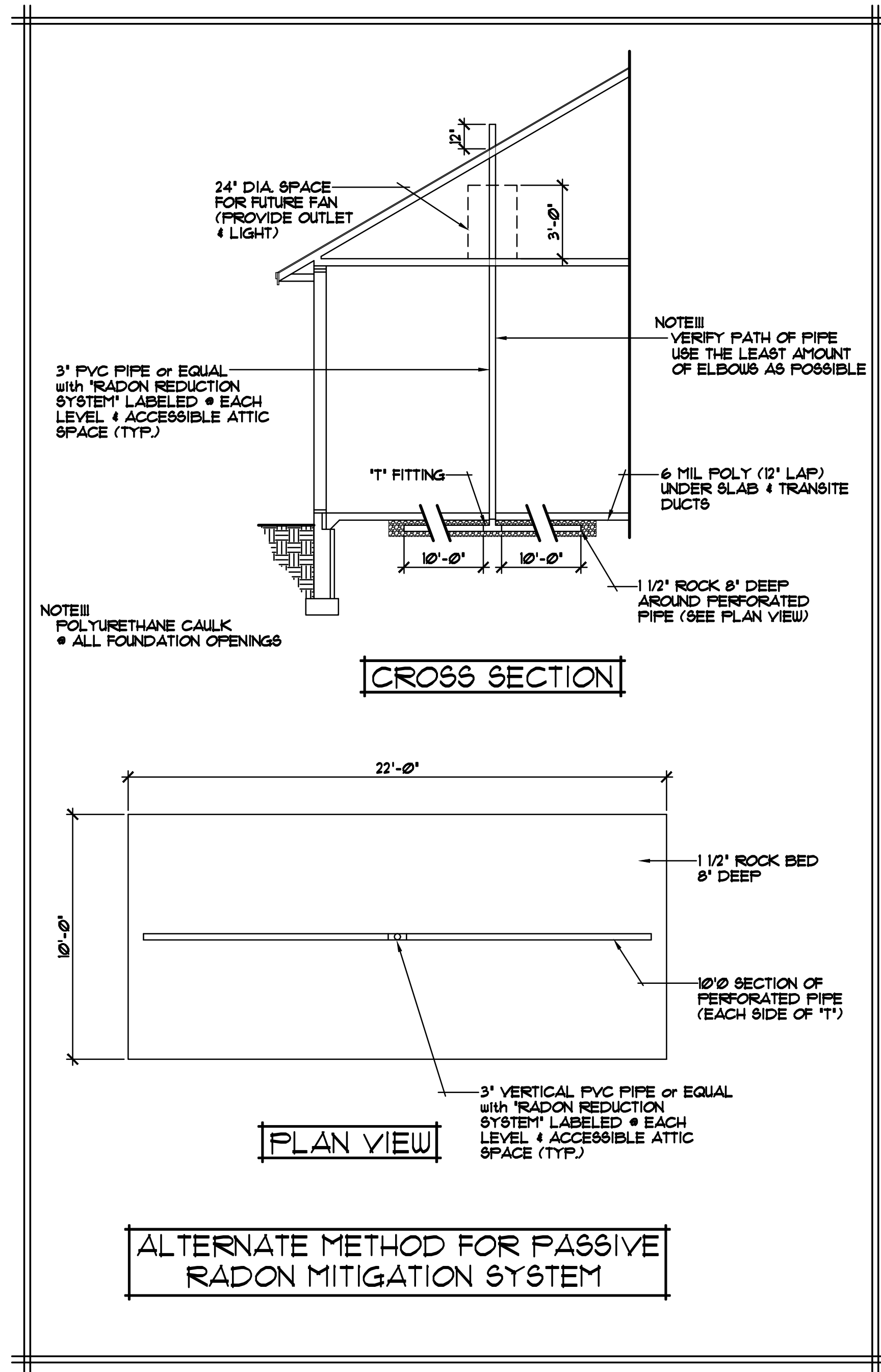
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- 8'-1 1/8" PLATE HEIGHT • GARAGE FROM TOP OF FOUNDATION (UNLESS NOTED OTHERWISE)
- PROVIDE STANDARD ENERGY HEEL • ALL ROOF TRUSSES (UNLESS NOTED OTHERWISE)

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(UNLESS NOTED OTHERWISE)
- PROVIDE STANDARD ENERGY HEEL • ALL ROOF TRUSSES
(UNLESS NOTED OTHERWISE)

ROOF CONSTRUCTION:

- PRE-MANUFACTURED ROOF TRUSSES
ENGINEERED BY SUPPLIER
- 1/16" ROOF VENT AT SOFFITS
- AIR CHUTE AT EACH TRUSS SPACE
- 15/32" OSB ROOF SHEATHING
- 15" ROOFING FELT
- ICE & WATER MEMBRANE APPLIED 24"
- PAST EXTERIOR WALL
- ASPHALT SHINGLES

SOFFIT/FASCIA:

- 2x6 SUB-FASCIA
- ALUMINUM FASCIA
- ALUMINUM VENTED SOFFITS

WALL CONSTRUCTION:

- HOUSE WRAP
- 7/16" OSB SHEATHING
- 2x6 STUDS • 16" O.C.
- WINDOWS PER SPECIFICATIONS
- R20 F.G. BATT INSULATION
- 4 MIL POLY VAPOR RETARDER
- 1/2" GYPSUM BOARD

RIM AREA CONSTRUCTION:

- R20 CLOSED CELL SPRAYED FOAM
INSULATION • RIM AREA

WALL CONSTRUCTION:

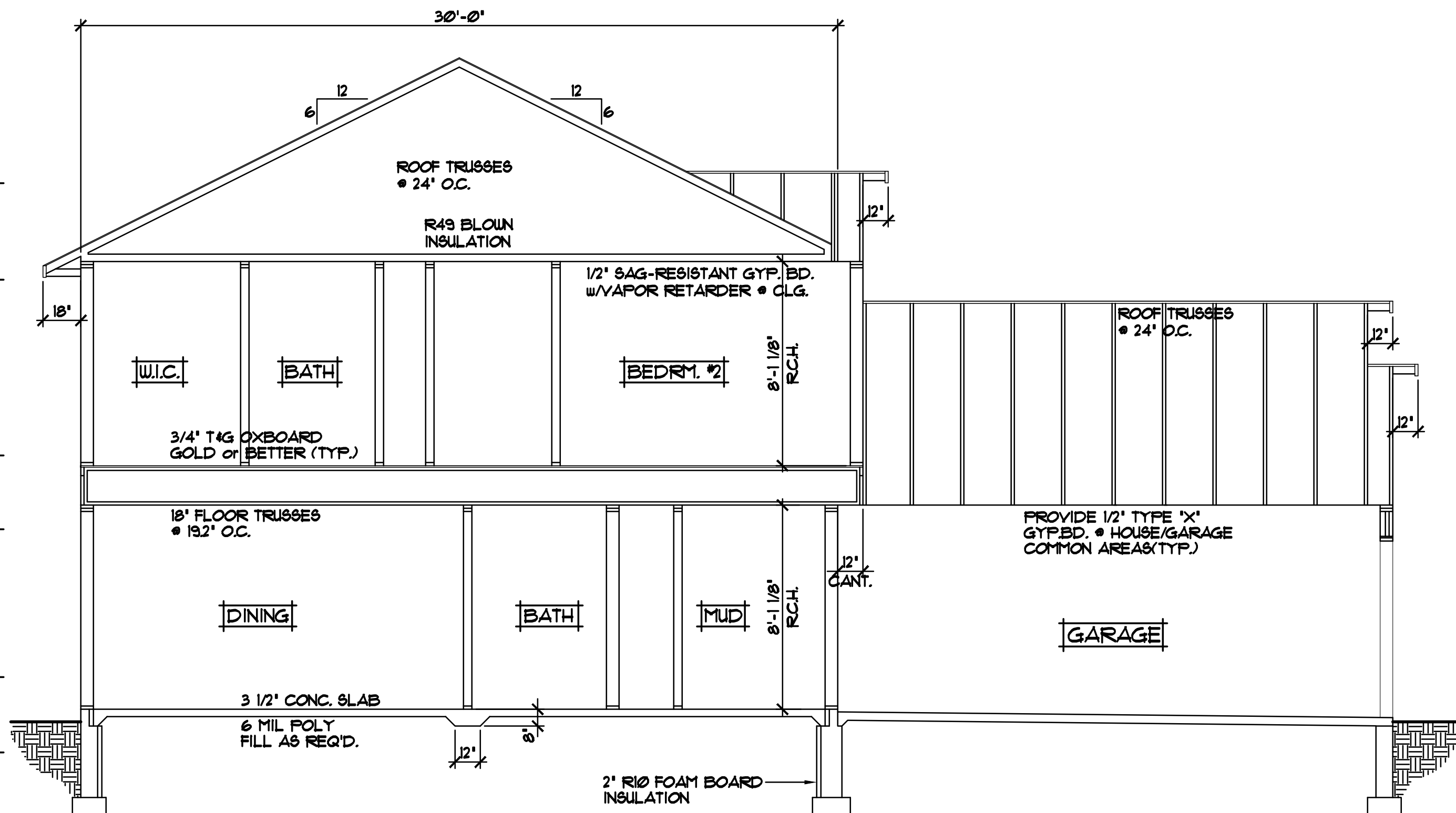
- HOUSE WRAP
- 7/16" OSB SHEATHING
- 2x6 STUDS • 16" O.C.
- WINDOWS PER SPECIFICATIONS
- R20 F.G. BATT INSULATION
- 4 MIL POLY VAPOR RETARDER
- 1/2" GYPSUM BOARD

SILL CONSTRUCTION:

- 2x6 TRT'D. SILL PLATE & SEALER
- 1/2" • ANCHOR BOLTS • 12" O.C.

FOUNDATION CONSTRUCTION:

- POURED CONCRETE WALLS
- R10 FOAM BOARD INSUL. • INTERIOR



CROSS SECTION "B" 1/4"=1'-0"

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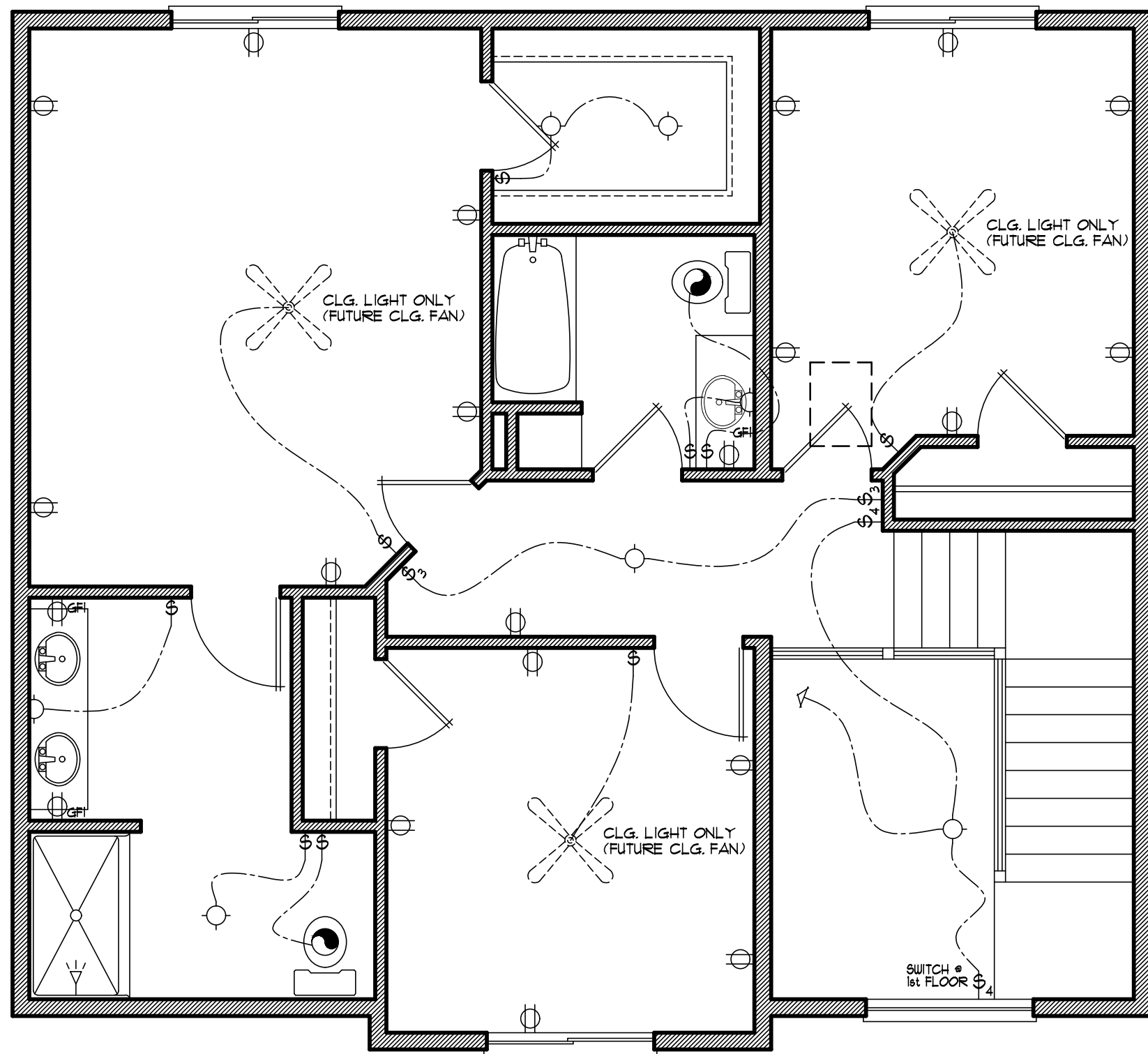
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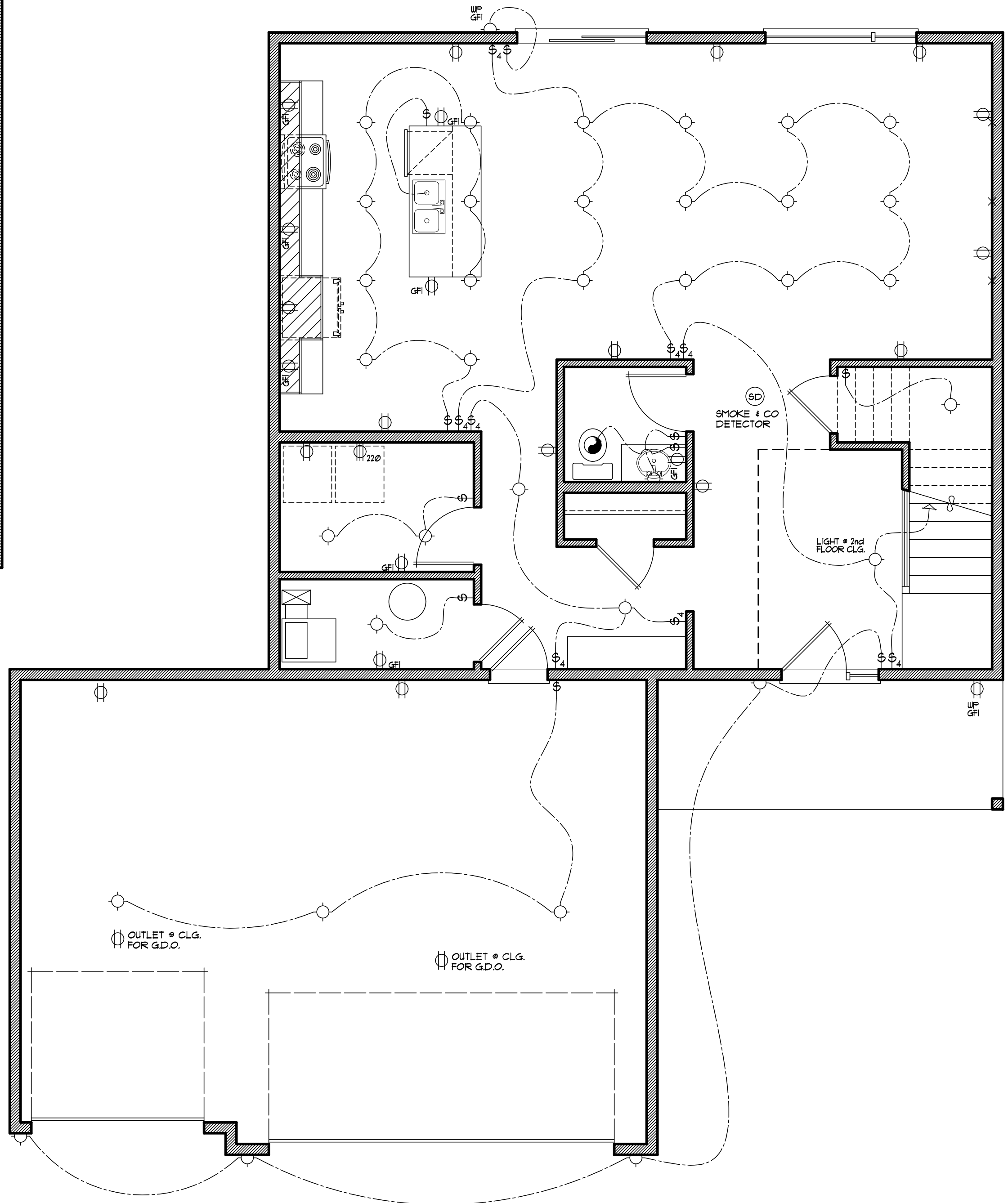
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SECOND FLOOR ELECTRICAL PLAN 1/4"=1'-0"

ELECTRICAL and MECHANICAL SYMBOLS			
	TELEPHONE JACK		EXHAUST FAN
	TV/CABLE JACK		LIGHT - CEILING FIXTURE
	SWITCH - SINGLE		LIGHT - RECESSED FIXTURE
	SWITCH - THREE WAY		LIGHT - RECESSED DIRECTIONAL
	SWITCH - FOUR WAY		LIGHT - PENDANT
	SWITCH - DIMMER		LIGHT - TRACK
	SWITCH - FAN CONTROLS		LIGHT - FLUORESCENT
	OUTLET - DUPLEX		LIGHT - WALL MOUNTED
	OUTLET - DUPLEX SWITCHED		EXHAUST FAN/LIGHT COMBINATION
	OUTLET - GROUND FAULT		HOSE BIBB
	OUTLET - WEATHERPROOF		GAS OUTLET
	OUTLET - FLOOR/SOFFIT MOUNT		HVAC- SUPPLY VENT
	OUTLET - RANGE OR DRYER		HVAC- RETURN VENT
	OUTLET - QUAD		
	SMOKE DETECTOR		



FIRST FLOOR ELECTRICAL PLAN 1/4"=1'-0"

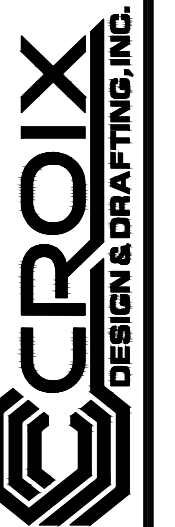
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HOWARD LAKE PARKS & PLANNING MEETING

July 15, 2026

AGENDA ITEM: Terning Trails Twinhomes Concept Plan

SECTION: New Business

FROM: Nate Sparks

PLANNING COMMISSION ACTION REQUESTED:

ATTACHMENTS:

1. Concept Plan Set
2. Architectural Renderings

BACKGROUND

Cavaliera Homes has made an application for a concept plan for 32 twin homes on 6.7 acres within the Terning Trails development (Outlot B, Terning Trails Plat 3). The site is currently zoned for High Density Residential development.

COMPREHENSIVE PLAN

In the Comprehensive Plan, this property is guided as a High Density Residential Use. The proposed density of the development is about 5 units per acre. High Density requires 9 units or more. Therefore, to approve this plan, the property would need to be re-guided to Medium Density.

ZONING ORDINANCE

The City's zoning ordinance has a R-6 District which allows twinhomes on lots of 15,000 square feet in size and 50 feet per unit. Developments may be 4,500 square feet per unit. The applicant would be proposing a Planned Unit Development to have alternative standards. They are seeking to have 3,900 square feet per unit and then a minimum of 39 feet per unit of lot width.

The Zoning Ordinance states that for two family dwelling units, "there must be 650 square feet first floor above grade, plus 100 additional square feet for each bedroom." The applicant is proposing units that would be 717 square feet on the first floor and 1,620 square feet total.

Planned Unit Development. When meeting the density requirements of the Comprehensive Plan, the City may consider alternative zoning standards, known as a planned unit development (PUD). The standards can allow for flexibility in width and area for lots but cannot allow for more lots to be placed on the property than what would otherwise be allowed in the Comprehensive Plan. The City can approve a PUD when the proposal is found to be providing a more efficient subdivision design, allowing for the City to meet policy goals, and other such objectives.

With this proposal, the Applicant is seeking flexibility in the zoning density standards but still falls within the permitted range of density within the Comprehensive Plan. The applicant is proposing a trail loop that would be public and could be extended to other parts of the Terning Trails development area. The applicant is also proposing stone accent materials on the front and the front facing dormer.

ANALYSIS

Road Right-of-Way Configuration. The applicant proposed a 50 foot wide right-of-way entering the site with a 28 foot wide street and a sidewalk. The City's Ordinance technically requires a 60 foot right-of-way but this may be viewed as acceptable if approved by the City Engineer.

Park Dedication. With any subdivision, the City requires park dedication. In this area, park dedication may be given for trails or as cash-in-lieu.



Architecture. The applicant has provided a housing example for review and consideration.

Grading, Drainage, and Utilities. Issues related to grading, drainage, and utilities, including the establishment of easements, is subject to comment and recommendation by the City Engineer. The City Engineer reviews grading and utility plans against the City's engineering and design standards and requires general plan revisions to meet these standards.

PLANNING COMMISSION REVIEW

The Planning Commission is tasked with reviewing the plans and providing comment to the developer and the City Council on the proposal.

STAFF RECOMMENDATION

Staff has reviewed the plans and finds that a higher density type of twinhome could be acceptable in this area due to it originally being designated as High Density. Staff would want to ensure that the City Officials find that the plan meets the minimum standards of a PUD.

Proposed Marick Commons Residential Development Concept Plan

Date: 06/25/2026
City: Howard Lake, MN
PID: 10905500020

Concept Information

Unit Type(s): Twinhomes
Lot Count: 32
Unit Count: 32
Roadway LF: 590
Gross Density: 4.8 un/ac

Site Information

Existing Zoning: PUD
Proposed Zoning: PUD
Gross Area: 6.7 acres

Zoning Requirements

	Required - R-6 District	Provided - PUD
Min. Lot Size:	15,000 sf	3,800 sf min. per unit
Min. Lot Width:	50'	29' min. per unit
Setbacks		
Front:	30'	25'
Side Interior:	10'	10'
Side Corner:	30'	n/a
Rear:	25'	25'
From Wetland:	33'	33'
Road Max. Length:	500'	560'
ROW Width:	60' / 50'	50'



GENERAL NOTES & DESIGN CRITERIA

DESIGN LOADS:

- * Floor: 40 psf. live Roof: 30 psf. live Ceiling: 10 psf. live
15 psf. dead 10 psf. dead 10 psf. dead
- * Soil bearing Capacity - 1500 PSF
- * Live loads, dead loads, wind loads, snow loads, lateral loads, seismic zoning and any specialty loading conditions will need to be confirmed before construction and adjustments to plans made accordingly. See your local building officials for verification of your specific load data, zoning restrictions and site conditions.

CONCRETE AND FOUNDATIONS:

- * All foundation walls and slabs on grade shall be 3000 PSI (28-day compressive strength concrete), unless noted otherwise.
- * All interior slabs on grade shall bear on 4" compacted granular fill with 6 mil. polyethylene vapor barrier underneath.
- * Provide proper expansion and control joints as per local requirements.
- * All 36" x 36" x 18" concrete pads to have (3) #5 rods each way.
- * All 48" x 48" x 18" concrete pads to have (4) #5 rods each way.
- * Foundation walls are not to be backfilled until properly braced.
- * Verify depth of frost footings with your local codes.
- * Provide termite protection as required by HUD minimum property standards.
- * Foundation bolts must be anchored to sill plate with 1/2" bolts embedded 15" in concrete walls.

REBAR & BOLT SCHEDULE:

BAR SIZE AND SPACING	VERTICAL	HORIZONTAL
8" Wall thickness	#5 @ 16" o.c.	#5 @ 16" o.c.
10" Wall thickness (w-brick)	#5 @ 12" o.c.	#5 @ 16" o.c.

EXTERIOR FILL	BOLT SPACING
0" to 3'-6"	72" o.c.
3'-7" to 6'-0"	48" o.c.
6'-1" to 7'-0"	32" o.c.
Over 7'-0"	Additional engineering may be required

STEEL:

- * All structural steel for beams and plates shall comply with ASTM specification A-36.
- * All structural steel for steel columns shall comply with ASTM specification A-53 Grade B or A-501.
- * All reinforcing steel for concrete shall comply with ASTM specification A-615 Grade 60.
- * Provide steel shimns in all beam pockets.
- * Steel columns are to be 3" I.D. (inside diameter) unless noted otherwise.

FRAMING MEMBERS:

- * Unless noted otherwise, all framing lumber shall have the following characteristics:
Fb = 1,000 psi Fv = 75 psi E = 1,400,000 psi
- * Contractor to confirm the size, spacing and stress characteristics of all framing and structural members to meet your local code requirements.
- * Hole sizes and locations in GluLam or Laminated Veneered Lumber members are to be confirmed by a professional engineer.
- * Any structural or framing members not indicated on the plan are to be sized by contractor.
- * Double floor joists under all partition walls, unless noted otherwise.
- * All subflooring is assumed to be 3/4" thick.-Glued&Nailed
- * All exterior walls are dimensioned to outside of 7/16" sheathing.
- * All exterior walls are 6" (5 1/2" stud plus 7/16" sheathing), All interior walls are 3 1/2" unless otherwise shown.
- * Calculated dimensions take precedence over scaled dimensions.
- * All Main level walls are 8'-1 1/8" high unless otherwise noted or implied.
- * All angled walls on floor plans are at 45 degree angle, unless otherwise noted.

FRAMING MEMBERS (continued):

- * Any wall 12'-0" high or higher shall be 2x6 and balloon framed.
- * Unless noted otherwise, above all openings that are:
(1) Load bearing and less than or equal to 3 ft. use 4x6.
(2) Load bearing and more than 3 ft. use (2) 2x12 w/1/2" Plywood between.
(3) Non-load bearing and less than or equal to 6 ft. use 4x6.
(4) Non-load bearing and more than 6 ft. use (2) 2x12 w/1/2" Plywood between.
- * (5) All exterior openings use (2) 2x12 w/1/2" Plywood between.
- * All trusses to be engineered by truss manufacturer according to the loading indicated on this plan.
- * All exterior corners shall be braced in each direction with let-in diagonal bracing or plywood.
- * Place (1) row of 1" x 3" cross-bridging on all spans over 8'-0" and (2) rows of 1" x 3" cross-bridging on all spans over 16'-0".
- * Collar ties are to be spaced 4'-0" o.c.
- * All purlins and kickers are to be 2x6's, unless noted otherwise.
- * Any hip or valley rafters over a 28'-0" span are to be Laminated Veneer Lumber (L.V.L.).

MISC. NOTES:

- * Prefabricated fireplaces and flues are to be U.L. approved and installed as per manufacturer's specifications.
- * All materials, supplies and equipment to be installed as per manufacturer's specifications and as per local codes and requirements.
- * Note: Provide proper insulation for all plumbing.
- * 1/2" water-resistant drywall around showers, tubs and whirlpools.
- * 1/2" drywall on interior walls and ceilings.
- * 5/8" type "X" fire code drywall on garage walls and ceilings.
- * Windows are called out by glass size only.
- * Windows, if not noted, are assumed to be casements.
- * Header heights are labeled to bottom of arched transoms
- * Confirm window openings for your local egress requirements and minimum light and ventilation requirements.
- * Headroom at stairs shall have a minimum clearance of 6'-8" high.
- * Provide proper handrails at stairs as per local code.
- * The mechanical and electrical layouts are suggested only. Consult your mechanical and electrical contractors for exact specifications, locations and sizes.
- * Jog flue to rear of ridge as necessary.
- * Note: Provide proper wiring for all electrical appliances, mechanical equipment and whirlpools as per manufacturer's specifications.
- * All air conditioner locations may vary depending on restrictive covenants and codes.
- * Typical overhang sizes unless noted otherwise on drawing are as follows:

On pitches of 4/12 - 5/12 - 6/12 = 24" overhang
7/12 = 20" overhang
8/12 = 16" overhang
9/12 = 16" overhang
10/12 - 11/12 - 12/12 = 12" overhang

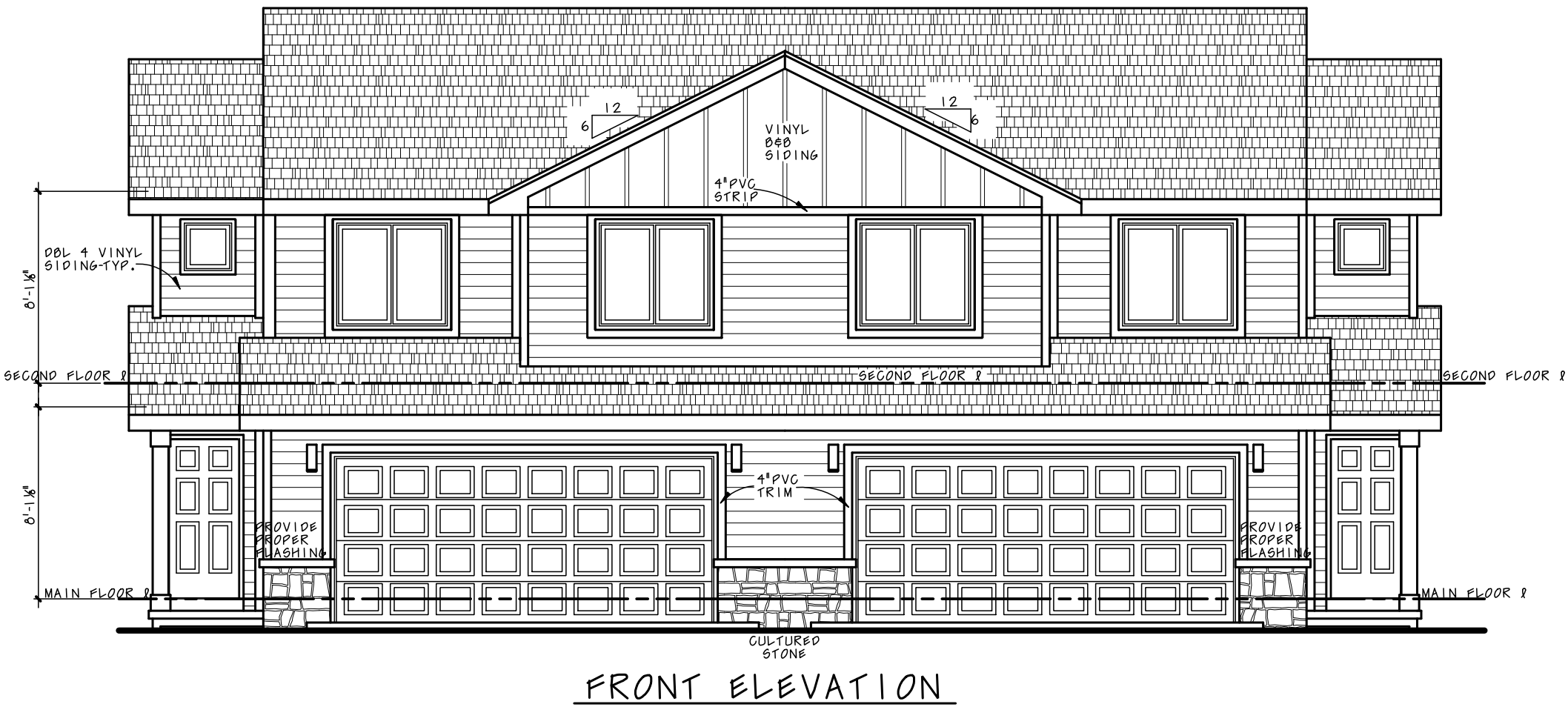
- * Note: Adjust overhangs to provide clearance for windows to open. Adjust overhangs to maintain a consistent level when the plans call for (2) different pitches at a hip.
- * Minor alterations to this plan can be made by builder. Please contact our drafting department for information and price quotes if major changes are required.
- * Plan Pros, Inc. determines finished square footage by measuring to the outside of all walls. We include: interior fireplaces and every location in which the floor joists project from the foundation. We do not include: window boxes where the floor joists do not project from the foundation; 2-story entries; exterior fireplaces; garage; decks; patios; porches; unfinished storage areas; basements or any other unfinished areas.

ABBREVIATIONS

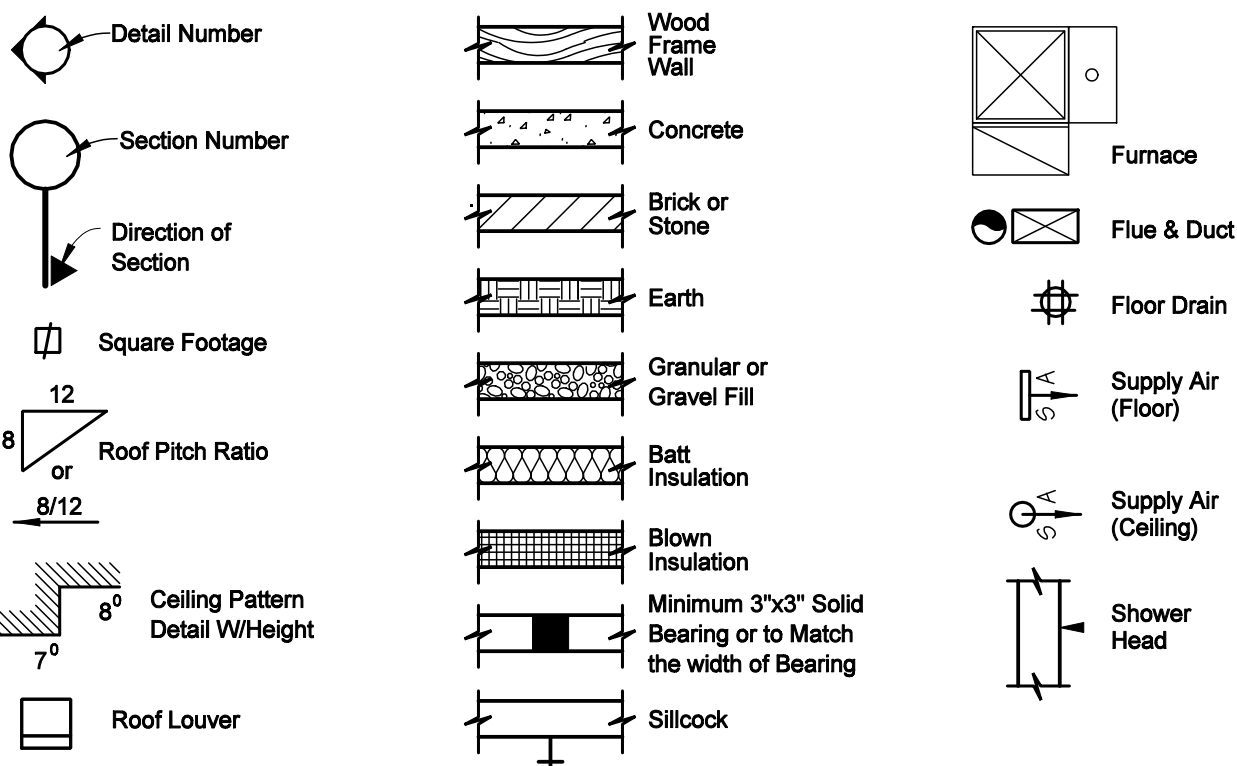
A/C	Air Conditioner	DISH	Dishwasher	INSUL	Insulation	PROJ	Projection	TRAP	Trap
ADJ	Adjustable	DN	Down	INT	Interior	RAD	Radius	U.L.	Underlayment
AWN	Awning	DRY	Dryer	JST	Joist	RAFT'S	Rafters	UNEX	Unexcavated
BLDG	Building	EA	Each	LVL	Laminated Veneer Lumber	REFRIG	Refrigerator	WASH	Washer
BSMT	Basement	ENT	Entertainment	LIN	Linen	RM	Room	WD	Wood
BTM	Bottom	EXP	Exposure	MAX	Maximum	SEC	Second	WH	Water Heater
BTW	Between	EXT	Exterior	MBR	Master Bedroom	SHWR	Shower	W.W.M.	Welded Wire Mesh
CANT	Cantilever	FIN	Finished	MICRO	Microwave	SL	Side Life	@	At
C.J.	Ceiling Joist	F.J.	Floor Joist	MIN	Minimum	SPP	Sump Pump Pit		
CEIL	Ceiling	FLUOR	Fluorescent	MISC	Miscellaneous	STA	Stationary	2W	Two Wide
CMU	Concrete Masonry Unit	FTG	Footing	O.C.	On Center	STD	Standard	3W	Three Wide
C.O.	Cased Opening	GALV	Galvanized	O.H.D.	Overhead Door	STL	Steel	4W	Four Wide
CONC	Concrete	GARB	Garbage Disposal	OPNG	Opening	T.C.	Trash Compactor		
DBL	Double	G & N	Glued & Nailed	PC	Pull Chord	T & G	Tongue & Groove	W/	With
DH	Double Hung	HDR	Header	PICT	Picture	TRANS	Transom		Diameter
				POLY	Polyethylene				

ARTIST CONCEPTION ONLY

ARTWORK NOT TO SCALE



SYMBOLS



ELECTRICAL LEGEND

110V OUTLET	FLOOD LIGHT
HALF SWITCHED 110V OUTLET	FLUORESCENT LIGHT
220V OUTLET	TRACK LIGHT
WEATHERPROOF 110V OUTLET	UNDER COUNTER LIGHT
GROUND FAULT 110 V. OUTLET	EXHAUST FAN
FLOOR 110V OUTLET	EXHAUST FAN/LIGHT COMBO
SURFACE MOUNT LIGHT	PADDLE FAN/LIGHT FIXTURE
RECESSED CAN LIGHT	PADDLE FAN
WALL MOUNT LIGHT	SMOKE DETECTOR (WALL)
PULL-CORD SURFACE MOUNT LIGHT	SMOKE DETECTOR (CEILING)
THERMOSTAT	TWO-WAY SWITCH
CHIMES	THREE-WAY SWITCH
	FOUR-WAY SWITCH

NOTE: WIRE SMOKE DETECTORS IN SERIES

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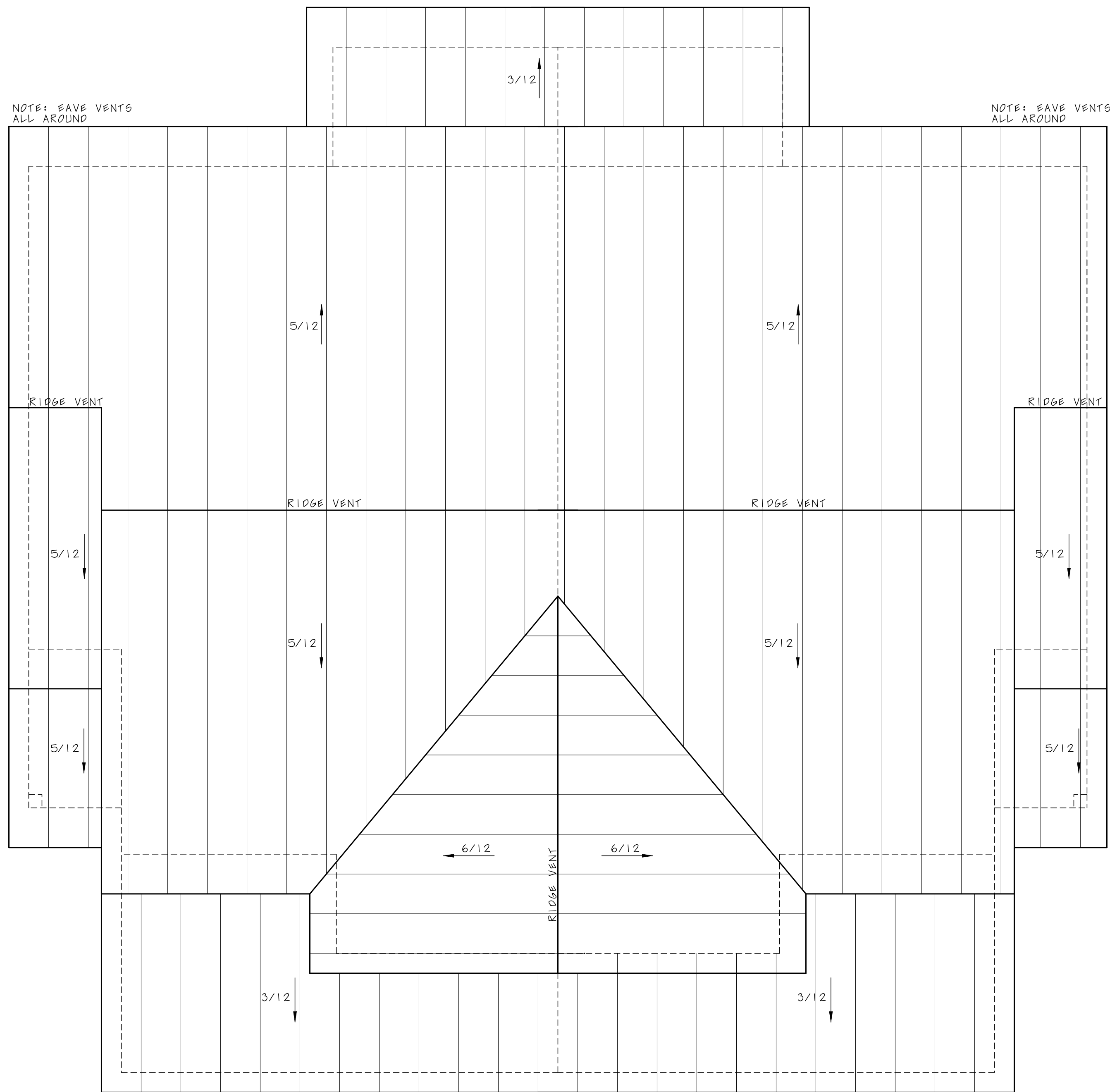
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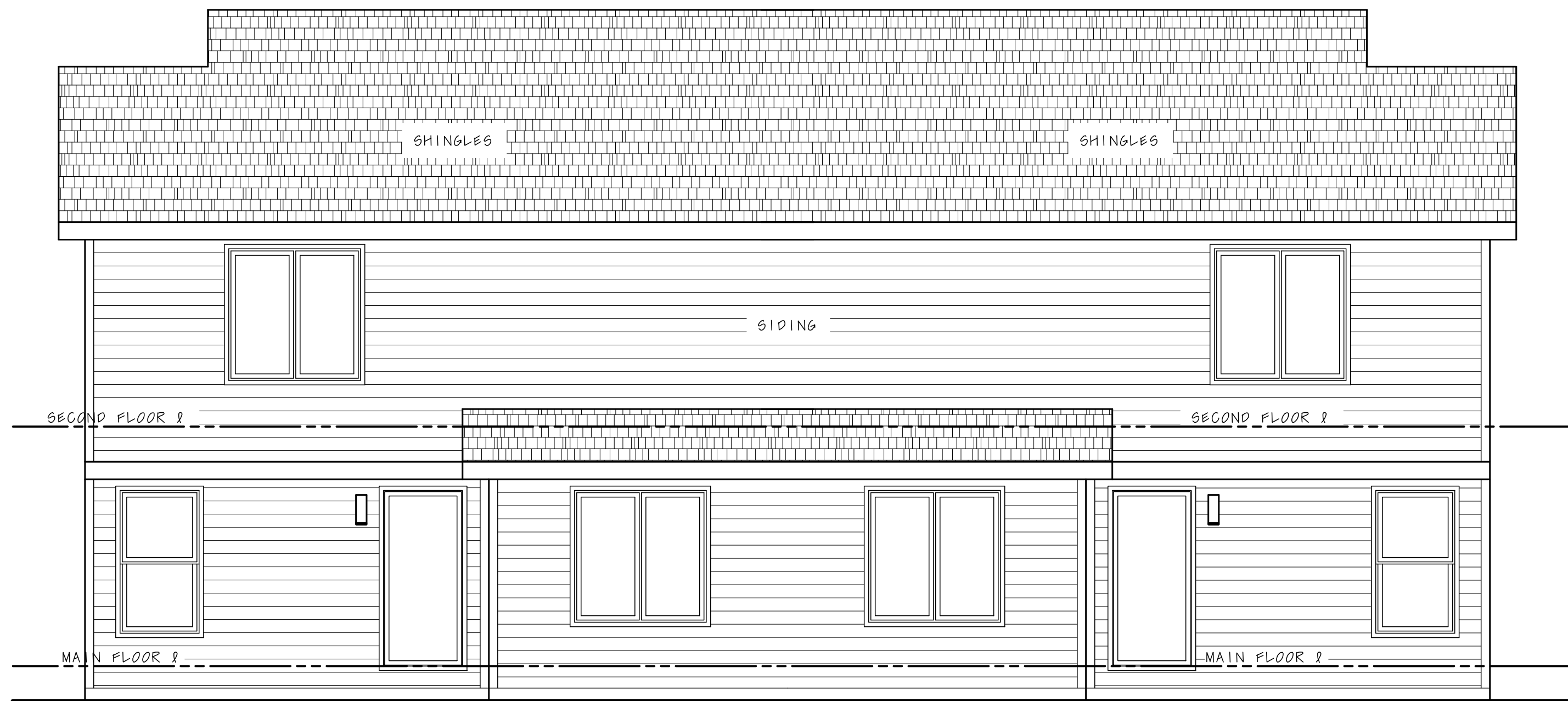
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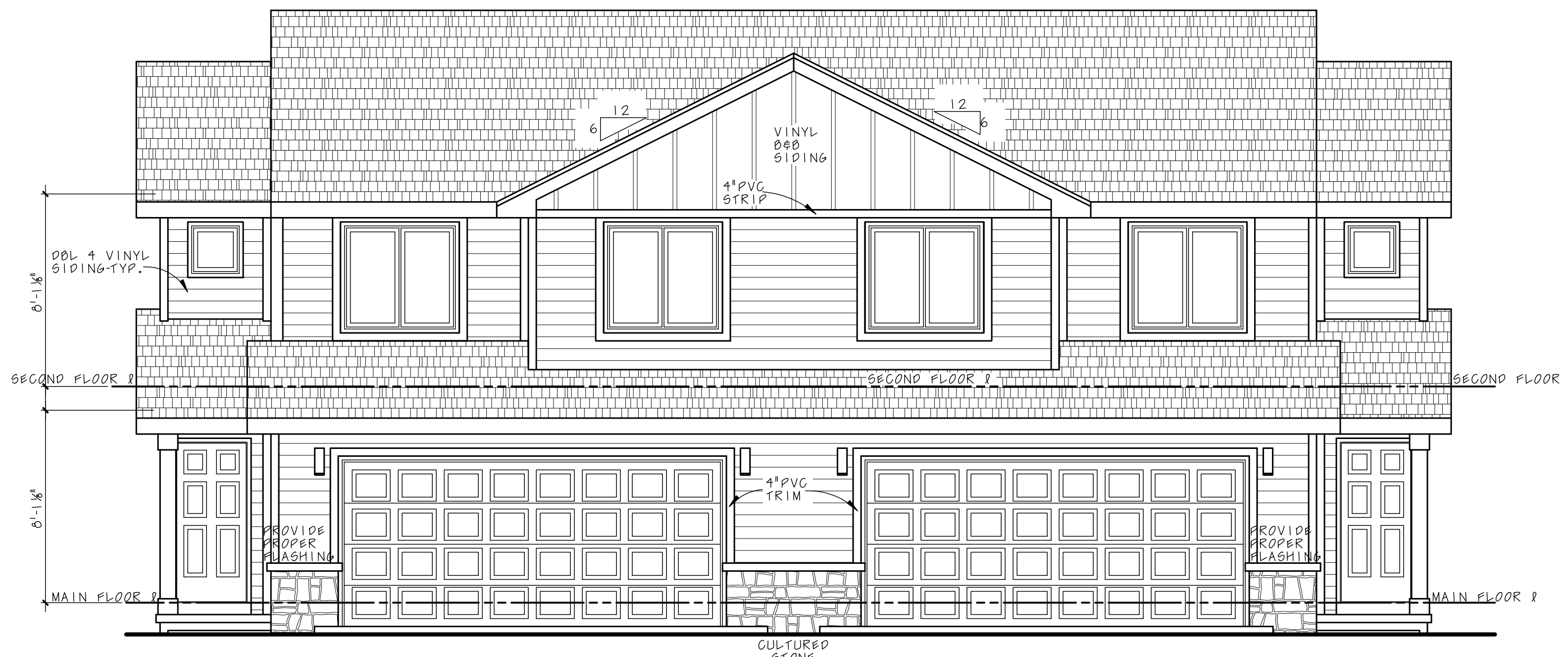
ROOF PLAN

SCALE: 1/4" = 1'-0"



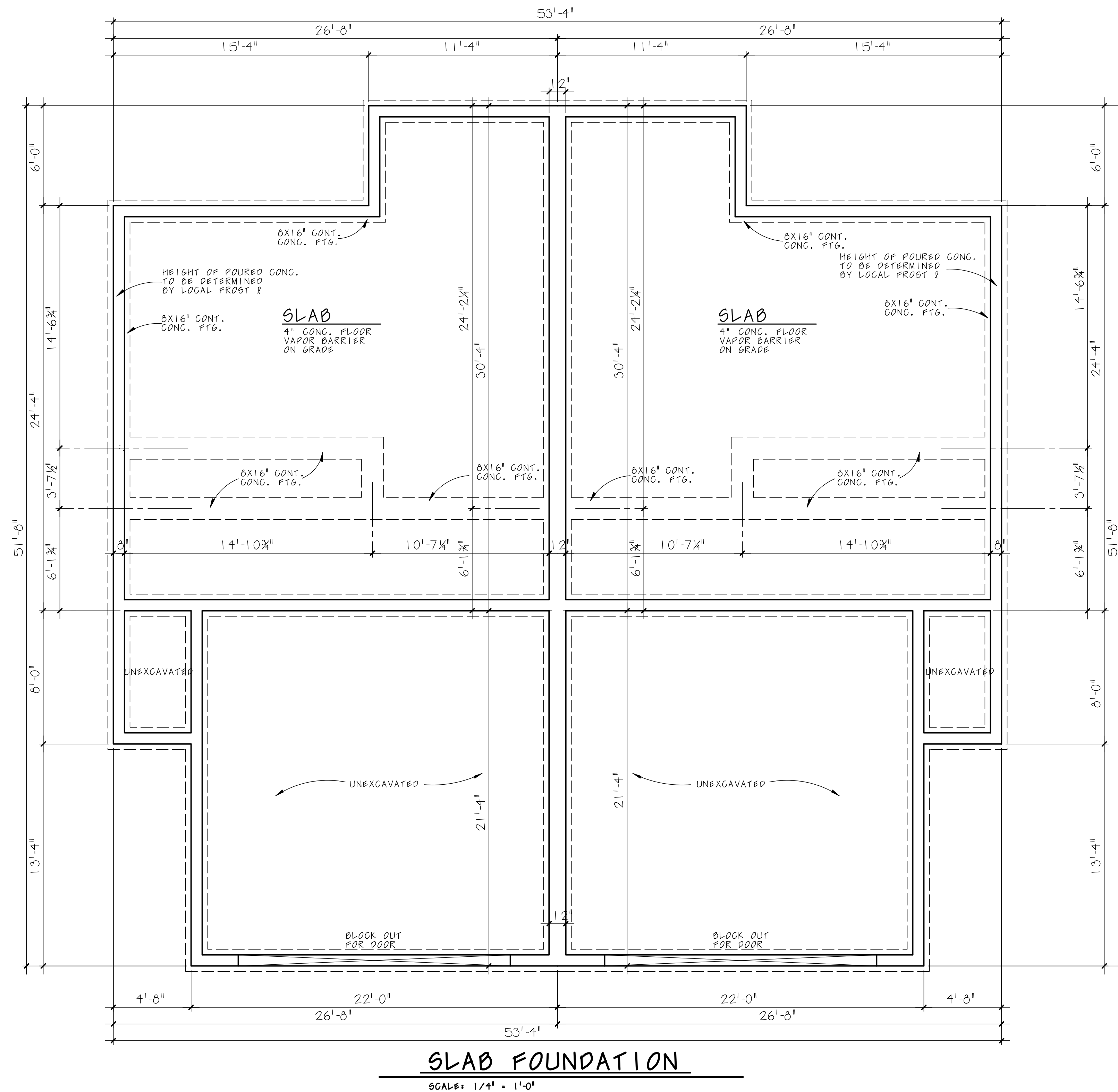
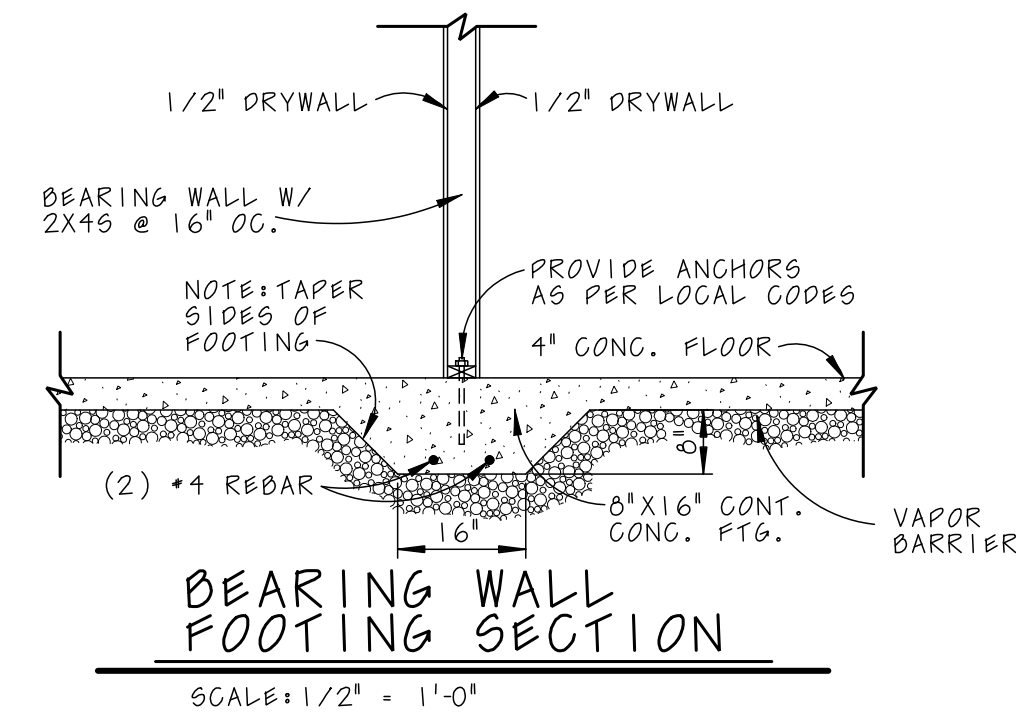
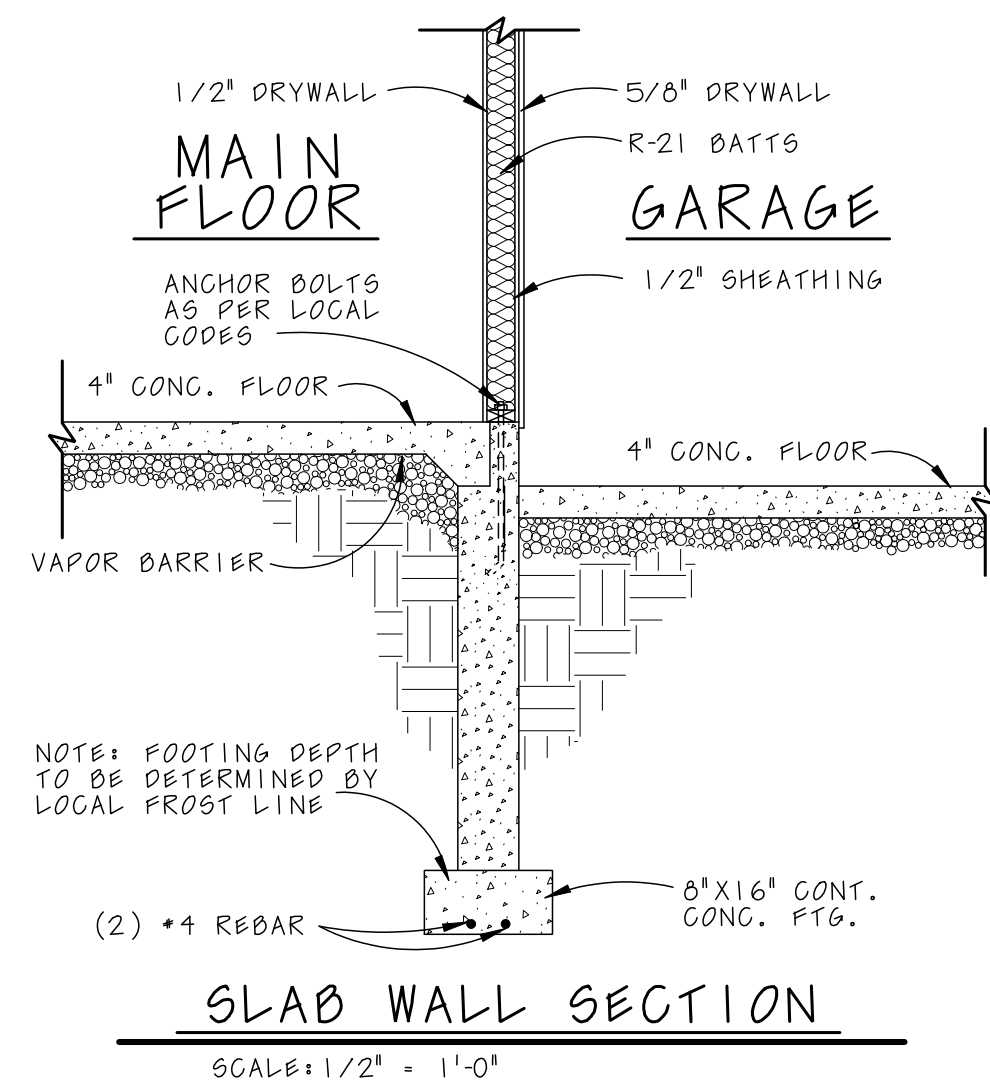
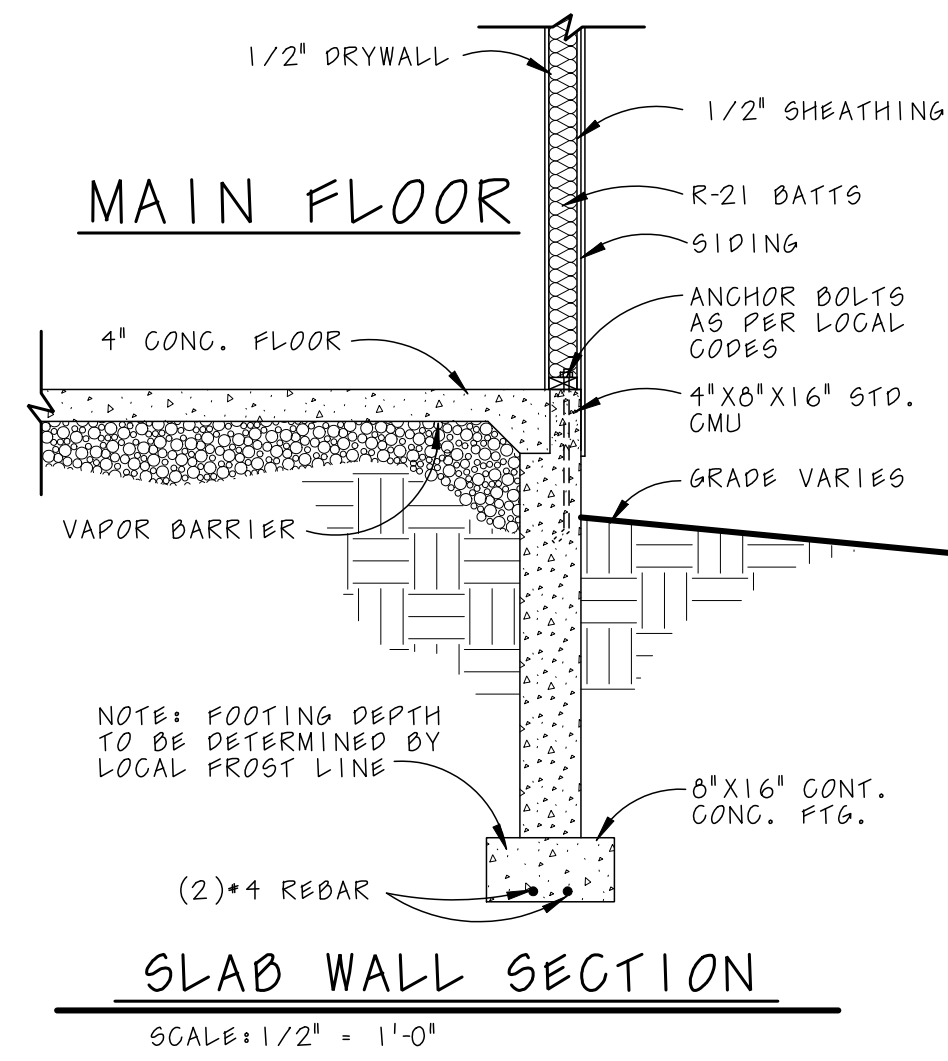
REAR ELEVATION

SCALE: 1/4" = 1'-0"



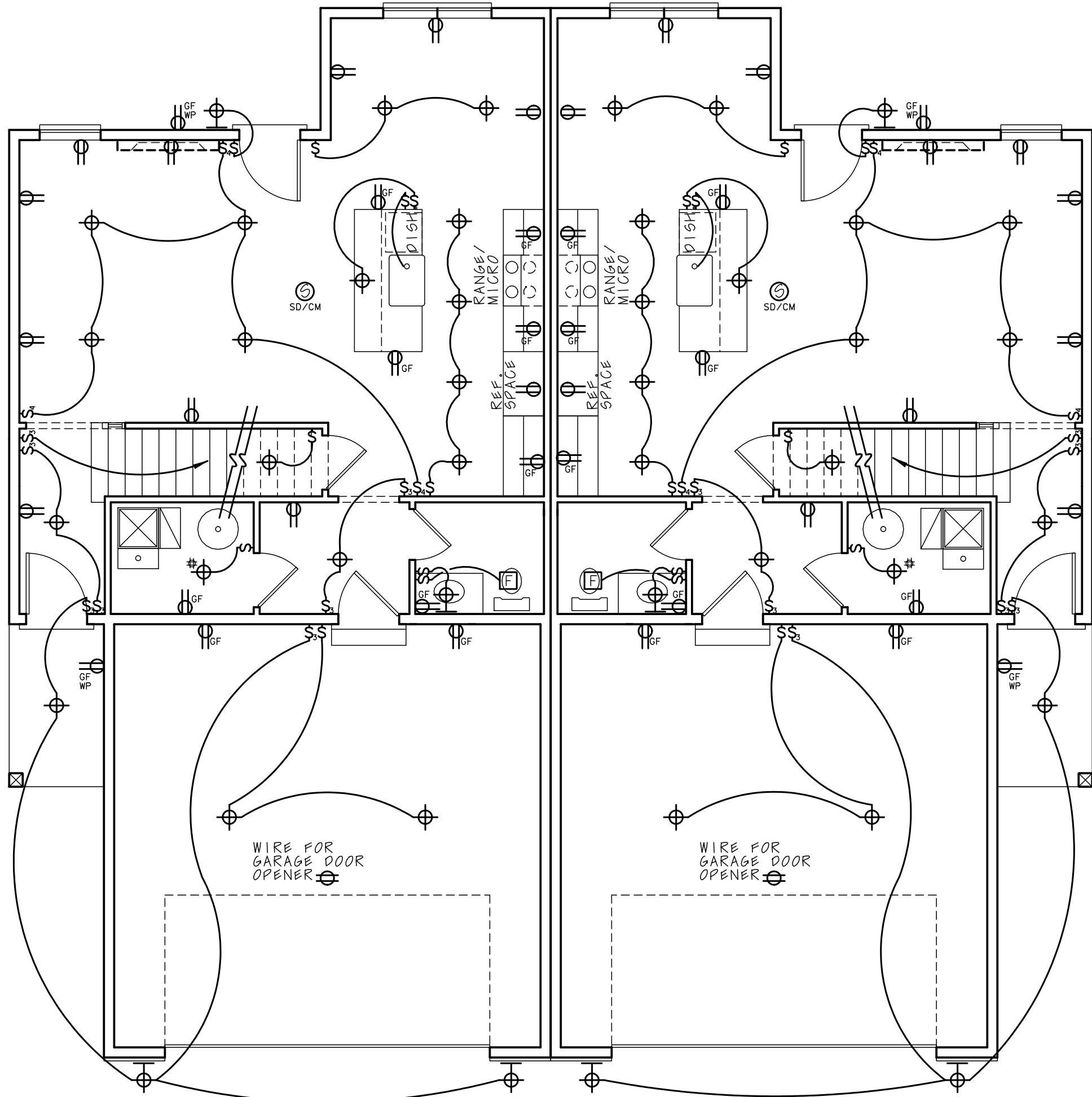
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



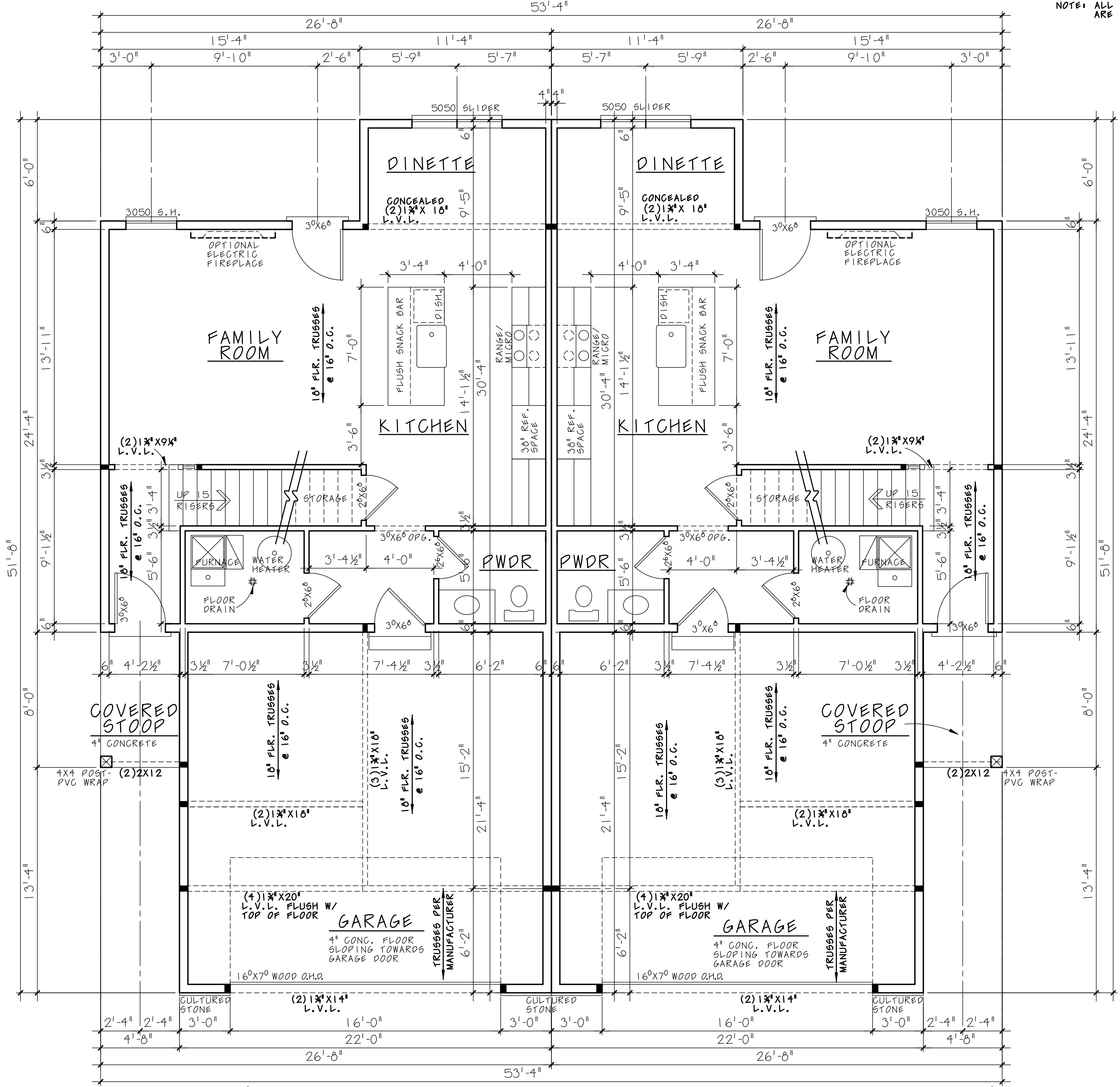
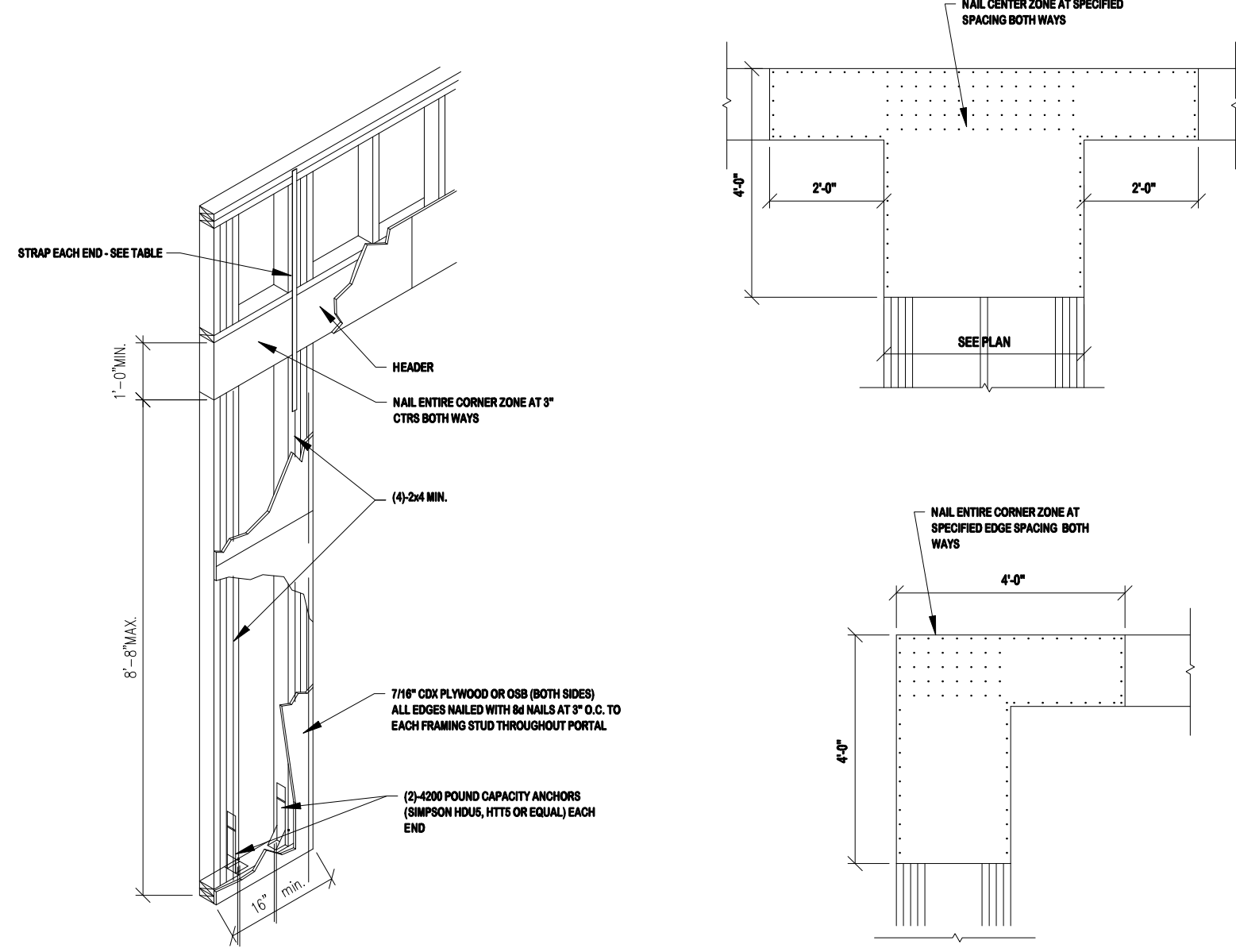
GENERAL ELECTRICAL LEGEND			
SYM.	DESCRIPTION	SYM.	DESCRIPTION
	110 V. OUTLET		FLOOD LIGHT
	HALF SWITCHED 110 V. OUTLET		FLUORESCENT LIGHT
	220 V. OUTLET		TRACK LIGHT
	WEATHERPROOF 110 V. OUTLET		UNDER COUNTER LIGHT
	GROUND FAULT 110 V. OUTLET		EXHAUST FAN
	FLOOR 110 V. OUTLET		EXHAUST FAN/LIGHT COMB.
	SURFACE MOUNT LIGHT		PADDLE FAN/LIGHT FIXTURE
	WALL MOUNT LIGHT		PADDLE FAN
	PULL-CORD SURFACE MOUNT LIGHT		SMOKE DETECTOR (WALL)
	THERMOSTAT		SMOKE DETECTOR (CEILING)
	CHIMES		SMOKE DETECTOR (CEILING) CARBON MONOXIDE DETECTOR
	TELEPHONE		TWO-WAY SWITCH
	HEAT LAMP		THREE-WAY SWITCH
			FOUR-WAY SWITCH

NOTE: WIRE SMOKE DETECTORS IN SERIES



MAIN LEVEL ELECTRICAL

SCALE: 3/16" = 1'-0"



MAIN LEVEL	717 d
SECOND LEVEL	903 d
TOTAL	1620 d
LOWER LEV FINISH	0 d
TOTAL	1620 d
GARAGE	469 d
FRONT PORCH	37 d

MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

HVAC LOCATION
PER CONTRACTOR

MAIN LEVEL	717 d
SECOND LEVEL	903 d
TOTAL	1620 d
LOWER LEV FINISH	0 d
TOTAL	1620 d
GARAGE	469 d
FRONT PORCH	37 d

- NOTE: ALL EXTERIOR WALLS ARE CONTINUOUSLY SHEATHED WITH 0.5 D. SHEETING, BRACED WALL PANELS AS PER 2018 IRC R601.2 AND TABLE R602.10.5
- NOTE: ALL MAIN FLOOR WALLS ARE 8'-1 1/2" HIGH UNLESS NOTED OTHERWISE
- NOTE: ALL EXTERIOR WALLS ARE 6" (5 1/2" STUD + 1/2" SHEATHING) ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE SHOWN
- NOTE: ALL ANGLED WALLS ARE @ 45°

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Sheet No.

5

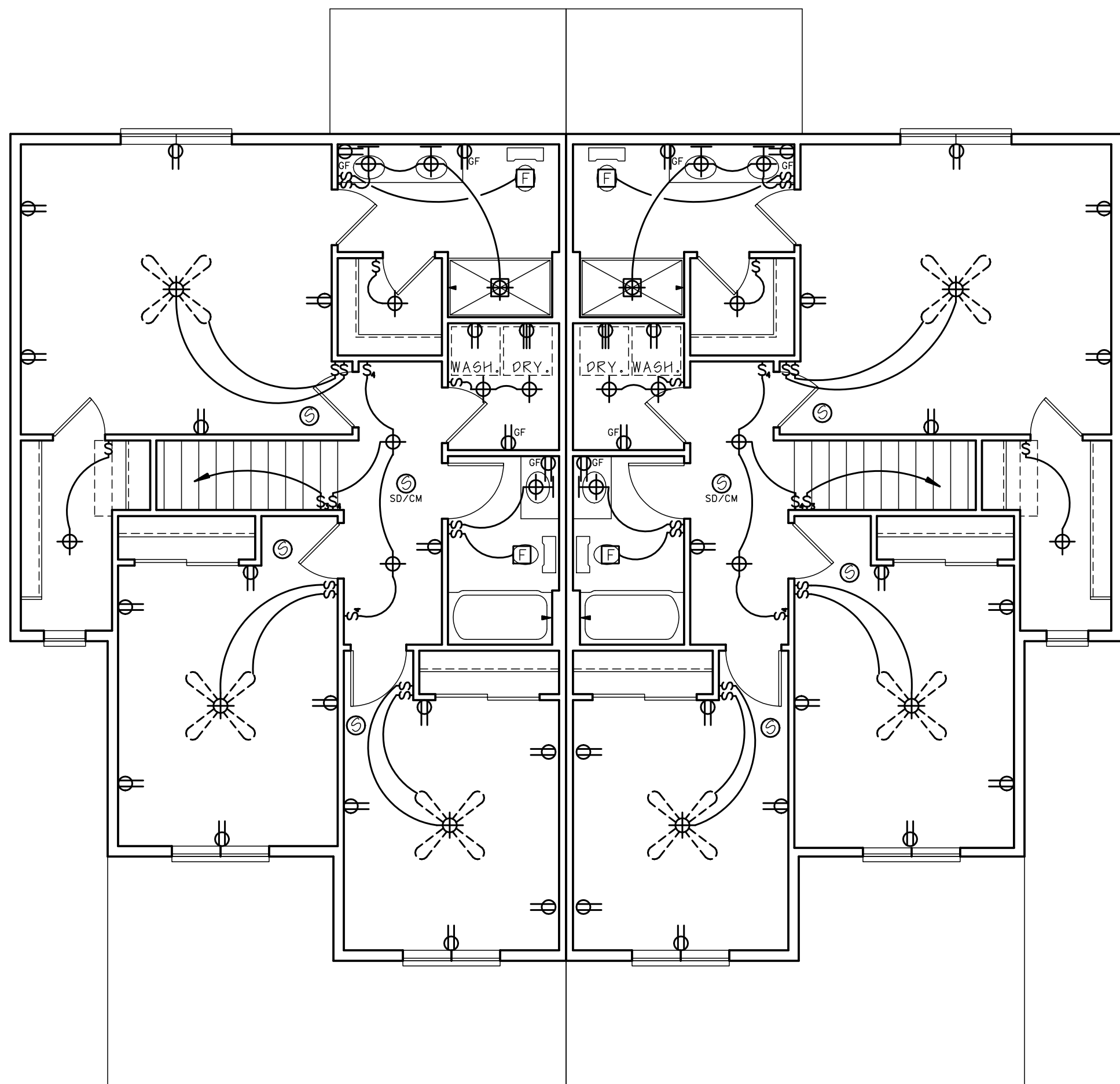
GENERAL ELECTRICAL LEGEND			
SYM.	DESCRIPTION	SYM.	DESCRIPTION
	110 V. OUTLET		FLOOD LIGHT
	HALF SWITCHED 110 V. OUTLET		FLUORESCENT LIGHT
	220 V. OUTLET		TRACK LIGHT
	WEATHERPROOF 110 V. OUTLET		UNDER COUNTER LIGHT
	GROUND FAULT 110 V. OUTLET		EXHAUST FAN
	FLOOR 110 V. OUTLET		EXHAUST FAN/LIGHT COMB.
	SURFACE MOUNT LIGHT		PADDLE FAN/LIGHT FIXTURE
	WALL MOUNT LIGHT		PADDLE FAN
	PULL-CORD SURFACE MOUNT LIGHT		SMOKE DETECTOR (WALL)
	THERMOSTAT		SMOKE DETECTOR (CEILING)
	CHIMES		SMOKE DETECTOR/CEILING CARBON MONOXIDE DETECTOR
	TELEPHONE		TWO-WAY SWITCH
	HEAT LAMP		THREE-WAY SWITCH
			FOUR-WAY SWITCH
NOTE: WIRE SMOKE DETECTORS IN SERIES			

NOTE: ALL EXTERIOR WALLS ARE CONTINUOUSLY SHEATHED WITH 0.50. SHEETING. BRACED WALL PANELS AS PER 2010 IRC R601.2 AND TABLE R602.10.5

NOTE: ALL SECOND FLOOR WALLS ARE 0'-1 1/8" HIGH UNLESS NOTED OTHERWISE

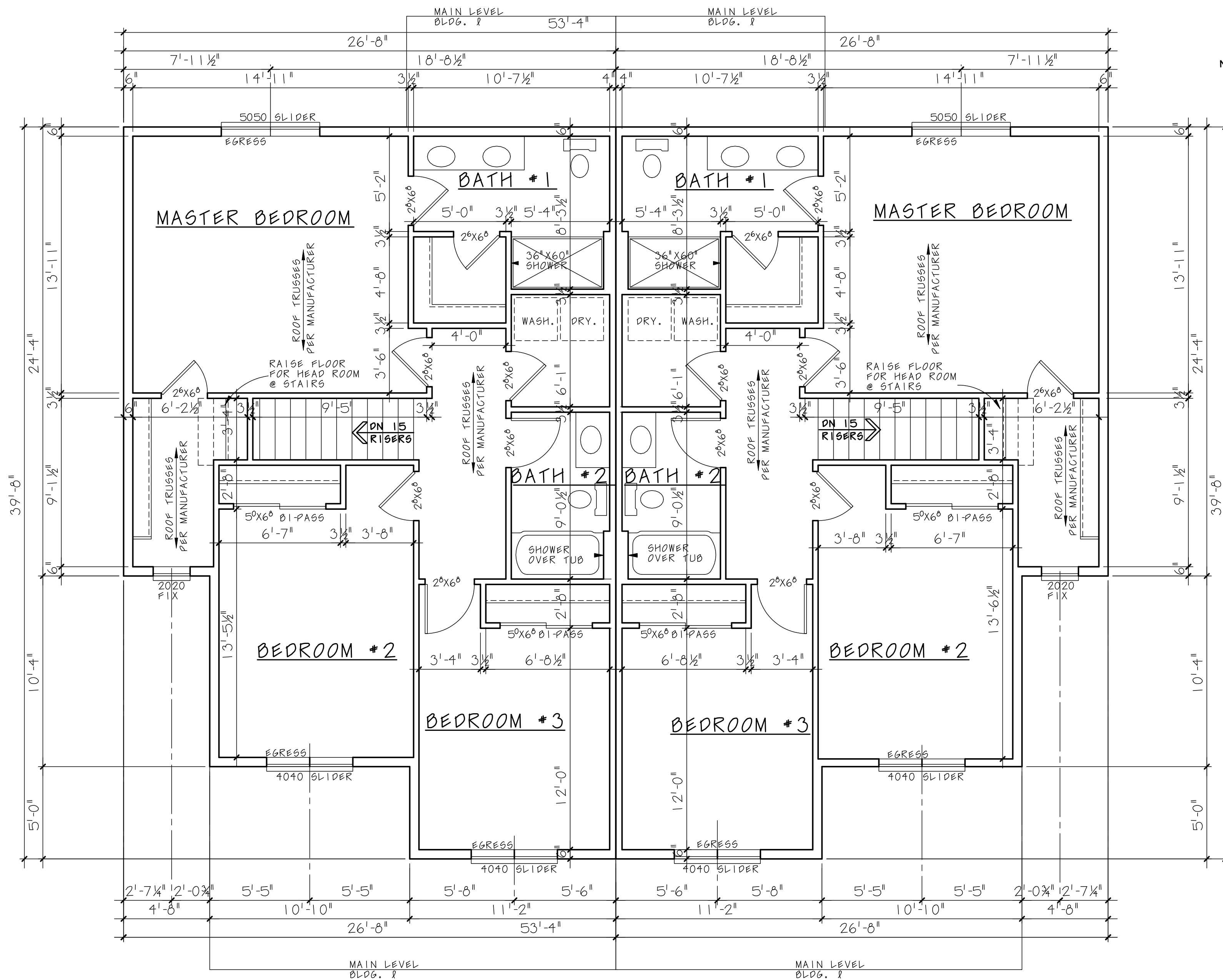
NOTE: ALL EXTERIOR WALLS ARE 6" (5 1/8" STUD + 1/8" SHEATHING.) ALL INTERIOR WALLS ARE 3/4" UNLESS OTHERWISE SHOWN

NOTE: ALL ANGLED WALLS ARE @ 45°



SECOND FLOOR ELECTRICAL

SCALE: 3/16" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"