



CITY OF HOWARD LAKE

PARKS AND PLANNING COMMISSION

*The City of Howard Lake strives to build upon its good neighbor traditions –
A welcoming community for all, supported by vibrant and engaged businesses and community organizations, involved
citizens, and diverse amenities that provide a well-rounded quality of life.*

Howard Lake City Hall
TENTATIVE AGENDA
April 12, 2023 – 6:00 pm

A. CALL TO ORDER

B. APPROVAL OF AGENDA

Any additions, deletions, modifications to the agenda will be done at this time.

C. CONSIDER APPROVAL OF MINUTES

- a. March 15, 2023 PPC Meeting Minutes

D. PRESENTATIONS, PUBLIC HEARINGS & RELATED APPROVALS

E. NEW BUSINESS

- a. Terning Trails Apartment
 - Site Plan Review
- b. Larson Plat
 - Final Plat Approval

F. OLD BUSINESS

G. ADJOURN



CITY OF HOWARD LAKE

625 8TH Avenue - PO Box 736 - Howard Lake, MN 55349
Phone: 320-543-3670 | cityadmin@howard-lake.mn.us | www.howard-lake.mn.us

HOWARD LAKE PARKS AND PLANNING COMMISSION

Howard Lake City Hall

March 15, 2023

MEETING MINUTES

MEMBERS PRESENT

April Debner
Jason Deiter
Gene Gilbert
Vern Kleve
Molly Hibbard

MEMEBERS ABSENT

Jean Schmidt
Barb Guenigsman

OTHERS PRESENT

Meagan Theisen, Assistant City Administrator
Nate Sparks, City Planner
Colton Guarini, Northwest Associated Consultants
Tara Kohl, Northwest Associated Consultants

A. CALL TO ORDER

Chair Debner called the meeting to order at 6:01 pm.

1. Chairperson – April Debner
2. Vice Chairperson – Jason Deiter
3. Secretary – Meagan Theisen
4. 2023 Meeting Dates – 2nd Wednesday of each month at 6 pm

B. APPROVAL OF AGENDA

Haggenmiller removed agenda items: New Business B. CSAH 7/Lions Park Enhancements, New Business C. Siting a Future Dog Park, and New Business D. Pickleball Court.

Commissioner Kleve moved to approve the updated agenda. The motion was seconded by Commissioner Hibbard and passed unanimously.

C. APPROVAL OF MEETING MINUTES

Commissioner Hibbard stated a correction to the short term rental vote, her vote should have been “no”.

Commissioner Hibbard moved to approve the June 8, 2022 PPC Meeting minutes, with the correction on the short term rental vote. The motion was seconded by Commissioner Schmidt and passed unanimously.

D. PRESENTATIONS, PUBLIC HEARINGS & RELATED APPROVALS

None.

E. NEW BUSINESS

a. Comprehensive Plan Update

Sparks, Guarini & Kohl provided updated statistics and graphs that had been created for the comprehensive plan.

The Commission reviewed the information provided by Northwest Associated Consultants.

The Commission was left with the task of determining where they would like to see new residential growth.

b. OLD BUSINESS

c. ADJOURN

The Parks and Planning Commission meeting adjourned at 7:43.

Chair, April Debner

Secretary, Meagan Theisen



NORTHWEST ASSOCIATED CONSULTANTS, INC.

4150 Olson Memorial Highway, Ste. 320, Golden Valley, MN 55422
Telephone: 763.957.1100 Website: www.nacplanning.com

To: Howard Lake Parks & Planning Commission
Nicholas Haggemiller, City Administrator

From: Nate Sparks, City Planner

Date: April 6, 2023

Re: Larson Lot Preliminary Plat

BACKGROUND

The City has received an application for a plat of property located at 901 Shoreline Drive. The proposed division would be to create a second twinhome lot on the property. The applicant does NOT have immediate intention of developing a second twinhome, thereby making this request slightly untraditional from typical approvals provided in similar instances.

COMPREHENSIVE PLAN / ZONING

The property is guided for a Medium Density Residential Land Use which allows for two-family dwellings.

The property is also a PUD for the apartments, townhomes, and twinhomes in the area.

It has been understood that this parcel was previously preliminarily approved for this second twinhome lot, as there is a utility stub and driveway apron to the property.

SITE PLAN / PERFORMANCE STANDARD REVIEW

Zoning Performance Standards

The minimum lot size for a twinhome lot in the Shoreland District is 35,000 square feet with 135 feet in width. The R-6 District requires 15,000 square feet and 85 feet in width.

The applicant proposes one lot of about 14,700 square feet in area and 80 feet in width and another with 19,000 with 100 feet.

The required setbacks are 20 feet to the side, 30 to the front, and 75 to the lake. The applicant is proposing 15 on one side, 25 on the other, and 30 to the front.

The applicant should adjust the lots to meet the R-6 size and width standards (15,000 / 85') and the 20 foot Shoreland side yard setbacks. This appears to be an easy accommodation following adjustments provided by the project surveyor.

Park Dedication

Park dedication is required in the form of cash-in-lieu.

DNR Comments

The DNR has been provided the application and comments are pending.

STAFF RECOMMENDATION

It appears that the proposed division was approved once before by the City, as there are utilities and a driveway apron present. Therefore, Staff finds this proposal is acceptable, provided all Staff comments shall be addressed:

1. Lots should be adjusted to meet the width and size requirements on the R-6 District (15,000 square feet and 85 feet in width) and 20 foot side yard setbacks from the Shoreland District.
2. All comments from the City Engineer shall be addressed.
3. All comments from the City Attorney shall be addressed.
4. Parkland dedication in the form of cash-in-lieu shall be provided.
5. Staff would also recommend renaming the plat to Shoreline Homes 2nd Addition.

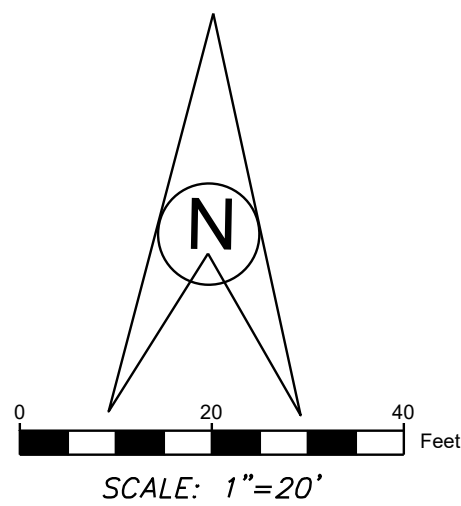
Attachments:

Applicant's Plan Set

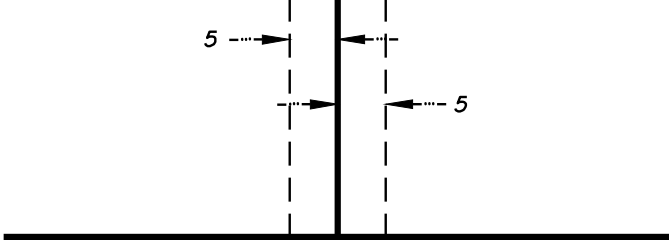
Preliminary Plat of LARSON LOT

SHEET INDEX

SHEET NO.	DESCRIPTION
1	PRELIMINARY PLAT
2	GRADING PLAN

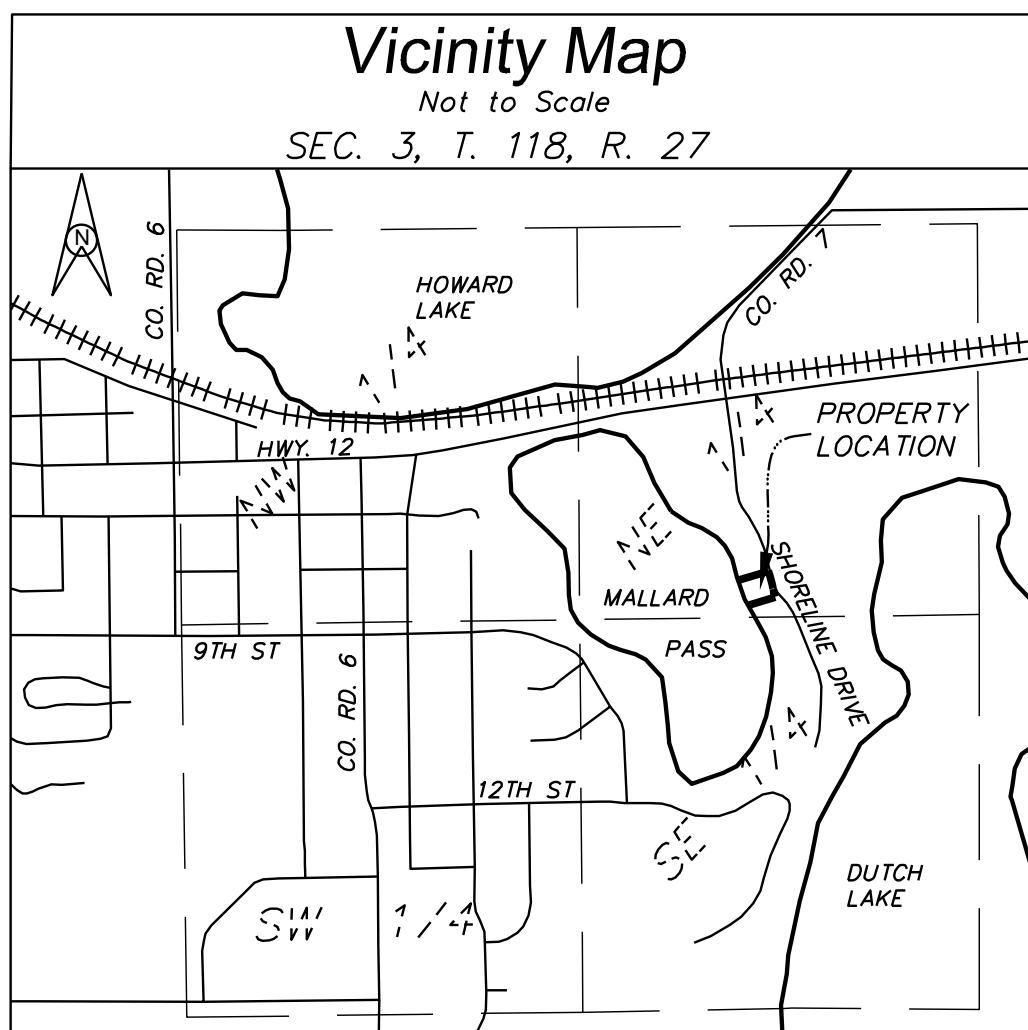


DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



BEING 5 FEET IN WIDTH, UNLESS OTHERWISE INDICATED, AND ADJOINING LOT LINES, AS SHOWN ON THE PLAT.

- LEGEND**
- 988 — denotes Existing Contour
 - 988.00 X denotes Existing Spot Elevation
 - FF=989.36 denotes Finished Floor Elevation
 - ⊕ denotes Telephone Pedestal
 - ⊕ denotes Electrical Pedestal
 - ⊕ denotes Water Valve
 - ⊕ denotes Sanitary Manhole
 - ⊕ denotes Hydrant
 - SS — denotes Sanitary Sewer Line
 - - - denotes Drainage and Utility Easement per the plat SHORELINE HOMES
 - - - denotes Building Setback Line
- Front = 30'
Side = 10'



PROPERTY DESCRIPTION:

That part of Outlot E, SHORELINE HOMES, Wright County, Minnesota, according to the recorded plat thereof; lying Northerly of a line described as follows:

Commencing at the Northeast corner of said Outlot E; thence Southerly along the East line along a nontangential curve concave West, having a central angle of 07 degrees 41 minutes 34 seconds, a radius of 920.00 feet, an arc distance of 123.52 feet; the chord of said curve bears South 14 degrees 40 minutes 22 seconds East, assuming the North line of said Outlot E bears South 73 degrees 22 minutes 35 seconds West; thence South 10 degrees 49 minutes 35 seconds East, continuing along said East line, a distance of 25.05 feet; thence Southerly continuing along said East line on a tangential curve concave East, having a central angle of 04 degrees 22 minutes 19 seconds, a radius of 400.74 feet, an arc distance of 30.58 feet to point of beginning of said line; thence South 73 degrees 22 minutes 35 seconds West, a distance of 208.00 feet, more or less, to the East line of Outlot G and said line there terminating.

MALLARD PASS

O.H.W.L. = 996.9(NGVD29) per MN DNR

OUTLOT G

E. line of Outlot G

Preliminary Plat of LARSON LOT, Wright County, MN.

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Paul E. Otto
Paul E. Otto
License #40062 Date: 1-30-23

Requested By:

Doug & Julie Larson

Date: 1-27-23 Drawn By: T.R.K. Scale: 1"=20' Checked By: P.E.O.

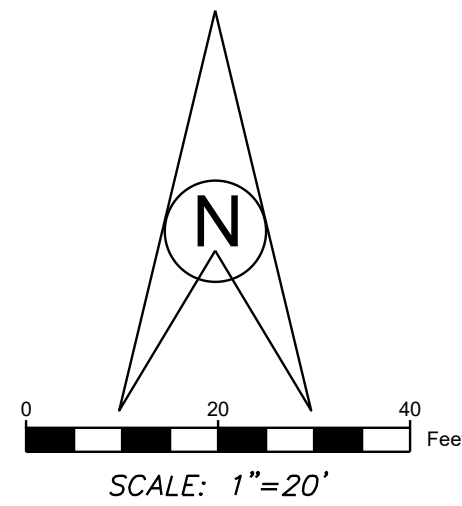


www.ottoassociates.com
9 West Division Street
Buffalo, MN 55313
(763)682-4727
Fax: (763)682-3522

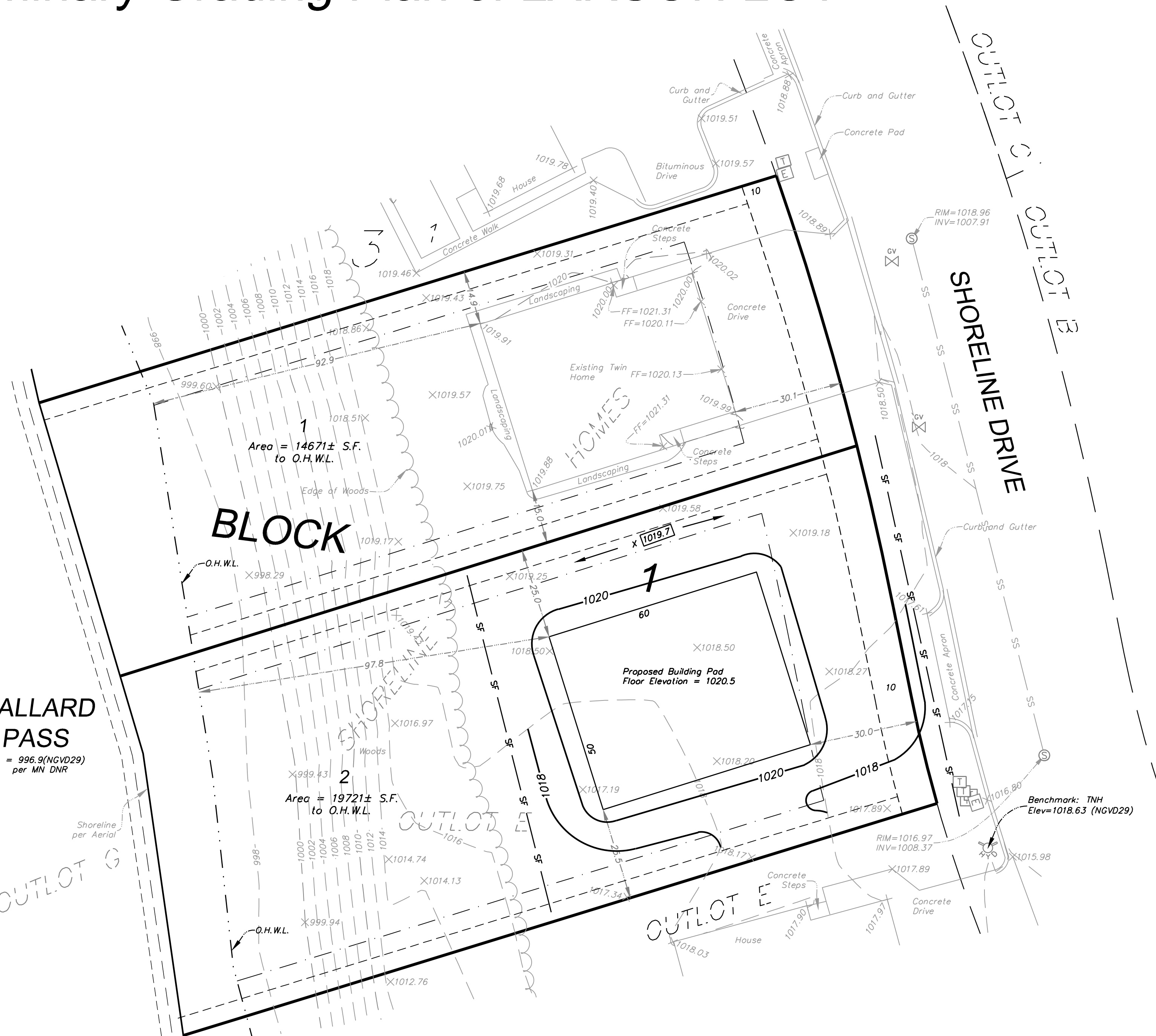
- denotes iron monument found
- denotes 1/2 inch by 14 inch iron pipe set and marked by License #40062

Project No. 23-0100

Preliminary Grading Plan of LARSON LOT



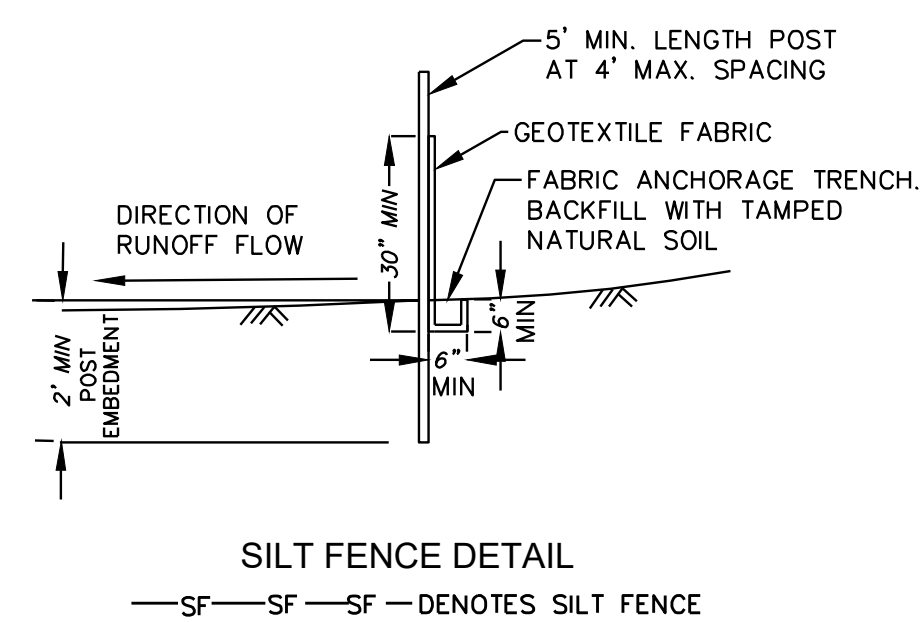
- LEGEND**
- 1010 — denotes Proposed Contour
 - 1017.5 X denotes Proposed Spot Elevation
 - > denotes Proposed Drainage
 - 988 — denotes Existing Contour
 - 988.00 X denotes Existing Spot Elevation
 - FF=989.36 denotes Finished Floor Elevation
 - [T] denotes Telephone Pedestal
 - [E] denotes Electrical Pedestal
 - [V] denotes Water Valve
 - [S] denotes Sanitary Manhole
 - [H] denotes Hydrant
 - SS — denotes Sanitary Sewer Line
 - - - denotes Drainage and Utility Easement
 - - - denotes Building Setback Line
Front = 30'
Side = 10'



Area = 14671± S.F.
to O.H.W.L.

Area = 19721± S.F.
to O.H.W.L.

MALLARD PASS
O.H.W.L. = 996.9(NGVD29)
per MN DNR



GRADING NOTES

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

Preliminary Grading Plan of LARSON LOT,
Wright County, MN.

Revised:

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Paul E. Otto
Paul E. Otto
License #40062 Date: 1-30-23

Requested By:

Doug & Julie Larson

Date: 1-27-23 Drawn By: T.R.K. Scale: 1"=20' Checked By: P.E.O.

OTTO ASSOCIATES
Engineers & Land Surveyors, Inc.

www.ottoassociates.com
9 West Division Street
Buffalo, MN 55313
(763)682-4727
Fax: (763)682-3522

- denotes iron monument found
- denotes 1/2 inch by 14 inch iron pipe set and marked by License #40062

Project No. 23-0100



NORTHWEST ASSOCIATED CONSULTANTS, INC.

4150 Olson Memorial Highway, Ste. 320, Golden Valley, MN 55422
Telephone: 763.957.1100 Website: www.nacplanning.com

To: Howard Lake Parks & Planning Commission
Nicholas Haggemiller, City Administrator

From: Nate Sparks, City Planner

Date: April 6, 2023

Re: Terning Trails Apartments

BACKGROUND

In 2012, the City Council adopted a Master Plan for the entire Terning Trails Campus. The intended land use goal of the campus plan was to provide for a continuum of care in housing. To that end the following was proposed for this plat:

- 80+/- single family “starter” homes proposed.
- 24 unit assisted living center.
- 100 slot childcare center.
- 30 bed skilled nursing facility.
- 12 single family “patio” homes.
- General Occupancy Multi-Family Project (estimated at 70 units)

Over the last several years, the City has partnered with various builders and developers to see this concept plan to fruition. By and large the intentions of the initial campus plan have been brought forward and have been realized. In fact, a proposed childcare center is anticipated to be brought forward for approval in 2023! That said, the City does NOT anticipate certain improvements to ever occur. Specifically, the skilled nursing facility. Elder care has changed dramatically and quickly since 2012 when the original concept plan was approved by the City. Simply stated, it is not likely the City will ever see a new skilled nursing facility due to market demand and general preference by most Baby Boomers to “age in place.” This is significant inasmuch as it frees up additional land for development deemed necessary by the market.

Buffalo Lake LLC

The City has received an application from Buffalo Lake LLC for a multi-family apartment complex. Buffalo Lake LLC is an entity that selects sites, navigates the development process, and essentially packages the project for actual development/ownership by a third party entity. The proposed project is located on city owned property at Outlot B of Terning Trails Plat 3. The City Council has approved a purchase agreement for the totality of the site including a concept site plan at their August 2022 Regular Council Meeting. The proposal is for two apartment buildings totaling 91 units. One building would be built at a later date.

Abbreviated Summary of Necessary Planning and Zoning Approvals Sought

The project requires an amendment to the Terning Trails Planned Unit Development and the approved Preliminary Plat for the site, which require public hearings. Also required is a site plan and final plat approval.

To that end, a staff level Development Review Committee has reviewed the submittals and provided feedback including the following disciplines: planning & zoning, engineering, fire protection and administration. Due to the nature of the development and certain considerations requiring higher approvals (DNR etc.), the planning commission will need to consider their own review which will include several items that will need to be finalized as the project moves forward through all concurrent approvals.

COMPREHENSIVE PLAN / ZONING

The property is guided for a High Density Residential Land Use which allows for multi-family residential developments up to 15 units per acre. The proposal would be 13.5 units per acre.

The property is zoned as a Planned Unit Development as part of the Terning Trails development. It was proposed in the Terning Trails PUD originally as a senior apartment or nursing home. The number of units were undefined in that approval.

The underlying zoning district within the PUD is the R-7, High Density Residential Zoning District.

SITE PLAN / PERFORMANCE STANDARD REVIEW

Zoning Performance Standards

The R-7 District requires a minimum lot area of 15,000 square feet and 85 feet in width. The proposed lot for development meets these standards.

The R-7 District allows for apartment structures and multiple principal structures on one lot. Setbacks are required to be 30 feet to the right-of-way/perimeter of the site, 30 feet to private drives, 33 feet to wetland boundaries, and a building separation of 20 feet.

Due to the proposed structure sharing an access point with the property to the east, the setback is 25 feet to the property line in this area, otherwise, these standards are being met.

Building height is capped at 3 stories or 40 feet, whichever is less. The proposed structure is 37' 9" in height.

A portion of the property, which is mostly wetland, lies within the Shoreland District. Impervious surface coverage is limited to 25% for this area, which is being met.

In summary, performance standards appear to meet or exceed code requirements.

Architectural & Building Standards

The City's Zoning Ordinance requires that the exterior of multiple family dwelling structures "include a variation in building materials which are to be distributed throughout the building facades and coordinated into the architectural design of the structure to create an architecturally balanced appearance."

In addition, a minimum of twenty-five percent (25%) of the combined area of all building facades facing a public right-of-way of a structure shall have an exterior finish of brick, stucco and/or natural or artificial stone. This appears to be generally met, but the applicant will need to provide the percentage breakdown.

The City's Ordinance requires one bedroom apartments to be 700 square feet in area, the plan depicts some one bedrooms being approximately 690 square feet. The two and three bedroom units all appear to meet code requirements.

In summary, the plans presented exceed minimum design and development standards found within the code.

Site Circulation & Parking

The site is proposed to be accessed from the same driveway as the Assisted Living Facility to the east. This site was approved by the PUD Plan.

The applicant has provided a site circulation plan depicting maneuvers for the type of trucks that will access the site. A turning radius plan has been included and reviewed. The proposed plan includes a fire access plan that appears to minimally meet code requirements. The final construction documents will be required to verify turning movement compliance.

Parking is required at 2.5 stalls per unit by the current Ordinance. Staff has been reviewing this code and recommended that the applicant use 2.25 stalls per unit instead, as this was going to be a proposed ordinance amendment, as part of a general code update. Planning Commission members may weigh in on this matter at this time. However, in review of nearly every ordinance relating to parking standards, current best practices range from 1.25 to 2 stalls per unit. The proposed development nearly meets current code and is believed to easily meet code upon final code revision.

The applicant is also proposing garage units on the lower level of the building as well as surface parking for a cumulative total of 2.2 stalls per unit.

In summary, the current plans may need minor adjustments which would be considered with final construction documents and related approvals.

Lighting & Landscaping

The applicant will need to provide a lighting plan depicting conformance to the City's lighting ordinance. To date, this has not been provided.

The applicant has provided a landscaping plan that includes the following:

- Existing tree preservation plan.
- Necessary perimeter screening between developments.
- A planting plan indicating for the totality of the site.
- A proposed planting schedule including the size, type and location for the totality of the site.

There is a trash enclosure depicted on the plans. Details on the construction of this will be required for the building permit issuance.

The site plan does not appear to include any signage for the site. Signage is not required by code. However, if a sign is to be placed it must be done in a manner consistent with the City's Sign Ordinance.

In summary, the proposed landscaping plan meets or exceeds code. A photometric lighting plan is anticipated to be received by the City prior to issuance of building permits.

Grading & Drainage

The applicant has provided wetland delineation, topographical survey, stormwater retention and grading plans. All appear to generally meet or exceed the city's requirements. The City Engineer highlighted several areas of confirmation that must be addressed. These are considered non-substantive in nature.

In summary, the proposed grading and drainage plan appears to meet requirements given final confirmation found in construction document level drawings.

Park Dedication

The applicant is proposing to construct the required trail through this area for park dedication purposes. Staff is reviewing trail route options with the applicant and estimated costs. The PPC may recommend acquiring the trail or cash-in-lieu of parkland dedication. A draft trail plan has been included for PPC review.

It is important to note that Park Dedication matters are a council level approval, typically. This is especially true in this case where the City is the current owner of the parcel. As a matter of quick policy review/refreshers, developers are required to provide recreational amenities for their developments. The City has often accepted cash-in-lieu of land or physical improvements such as playgrounds or trails. In this instance, where a neighborhood park is existing within walking distance and the site itself does not appear to have enough space to accommodate a recreational area, providing meaningful trail connections for the entire campus is being sought and considered by the city.

DNR Comments

The DNR has been provided the application and comments are pending. Initially, the DNR indicated that there would be no issues provided the impervious surface was being handled properly. The DNR requires a 30 day comment period. This comment period has expired. If comments are received after-the-fact, these will need to be considered and conveyed to the builder.

STAFF RECOMMENDATION

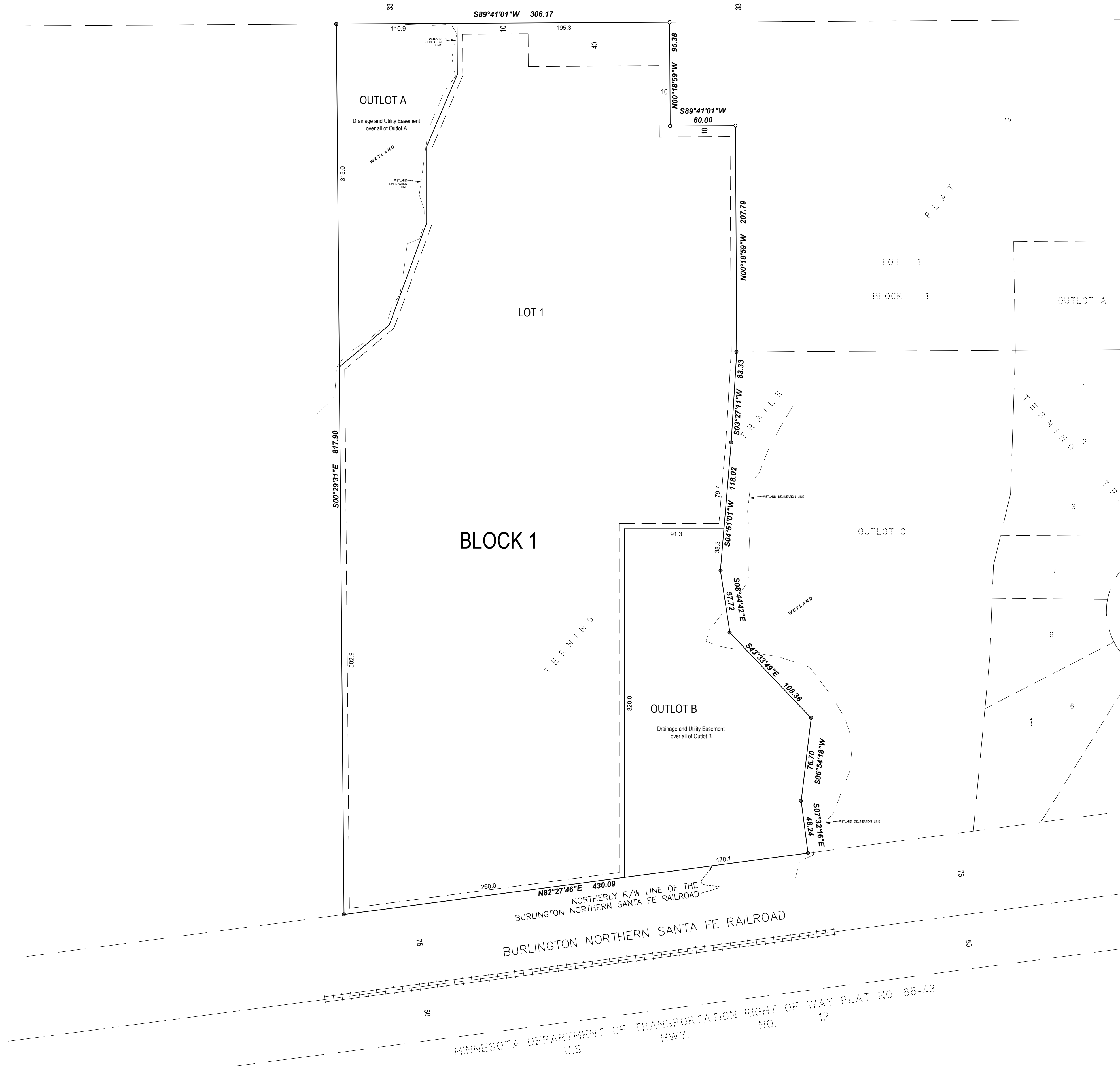
The Terning Trails Preliminary Plat indicated development like this on the previous approvals. Therefore, Staff finds this type of development is acceptable, provided all Staff comments shall be addressed:

1. The applicant shall provide a breakdown on the front facing building materials.
2. The impervious surface percentage in the Shoreland District shall be provided.
3. A lighting plan shall be prepared for Staff review.
4. All comments from the City Engineer shall be addressed.
5. All comments from the City Attorney shall be addressed.
6. Parkland dedication in the form of trail construction is recommended.

Attachments:

1. Existing Site Topo
2. Preliminary Plat (previously approved)
3. Site Plan
4. Grading and Stormwater Plan
5. Utility Plan
6. Tree Preservation Plan
7. Landscaping Plan
8. Fire Access Plan
9. Trail Plan

33 **1ST STREET EAST** NORTH LINE OF THE NW 1/4 OF SEC. 2, T. 118, R. 27 33



Legal Description

OUTLOT B, TERNING TRAILS PLAT 3 according to the recorded plat thereof, Wright County, Minnesota.

Zoning & Setback Summary

Existing Zoning Designation: Planned Unit Development (PUD)

Building Setback Provided:

Front Yard: 30'
Rear Yard: 25'
Side Yard (Interior): 10'
Side Yard (ROW): 25'

Parking Setback Information

Front Yard: 30'
Rear: 5'
Side: 5'

Minimum Lot Size: 15,000 Sq. Ft.
Minimum Lot Width, Base Standard: 85'
Minimum Lot Width, Two-Family Dwelling: 50'

Area Summary

Total Site Area: 292,338 Sq. Ft. = 6.71 Ac
Wetland Area: 23,556 Sq. Ft. = 0.54 Ac
Net Area: 268,778 Sq. Ft. = 6.17 Ac
Total Number lots = 3
Total Number units = 91
Net Density = 13.5 Units/Acre

Lot Areas

Outlot A - 24,158 Sf. - 0.55 Ac.
Outlot B - 41,734 Sf. - 0.96 Ac.
Lot 1 - 226,446 Sf. - 5.20 Ac.

DRAWINGS BY



14260 23rd Ave N
Plymouth, MN
Phone: 763-340-0699

DRAWINGS FOR

Buffalo Lake Partners,
LLC

9705 45th Ave N.
Unit 42 #1176
Plymouth, MN 55442

PROJECT

**Multi-Family
Residential
Development**

Howard Lake, MN

CERTIFICATION

I hereby certify that this plan, specification, or report was prepared by me, under my direct supervision and control, and I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

RANDALL C. HOLLUM
MN. LIC. NO. 19571

Date: Month, Day, Year

ISSUED FOR

ISSUE / REVISION	DATE
Preliminary Plat Submittal	12-05-2022
Preliminary Plat Submittal	03-10-2022

SUBMITTAL INFO

Review By: RH
Project #: 22026
Submittal Date: 03-10-2023
Submittal Phase: Preliminary Plat Submittal

SHEET TITLE

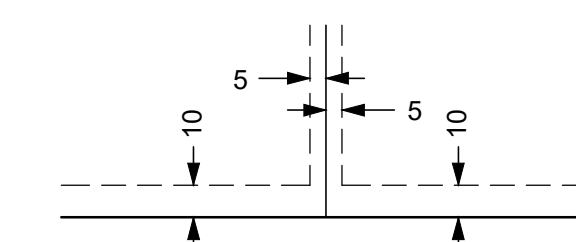
**Preliminary
Plat**

SHEET NUMBER

C2.0

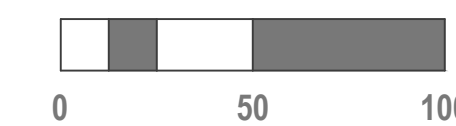
Copyright Land & Resource Consulting

Drainage and Utility Easements are shown thus:



Being 5 feet in width and adjoining lot lines, unless otherwise shown, and 10 feet in width and adjoining street lines unless otherwise shown on the plat.

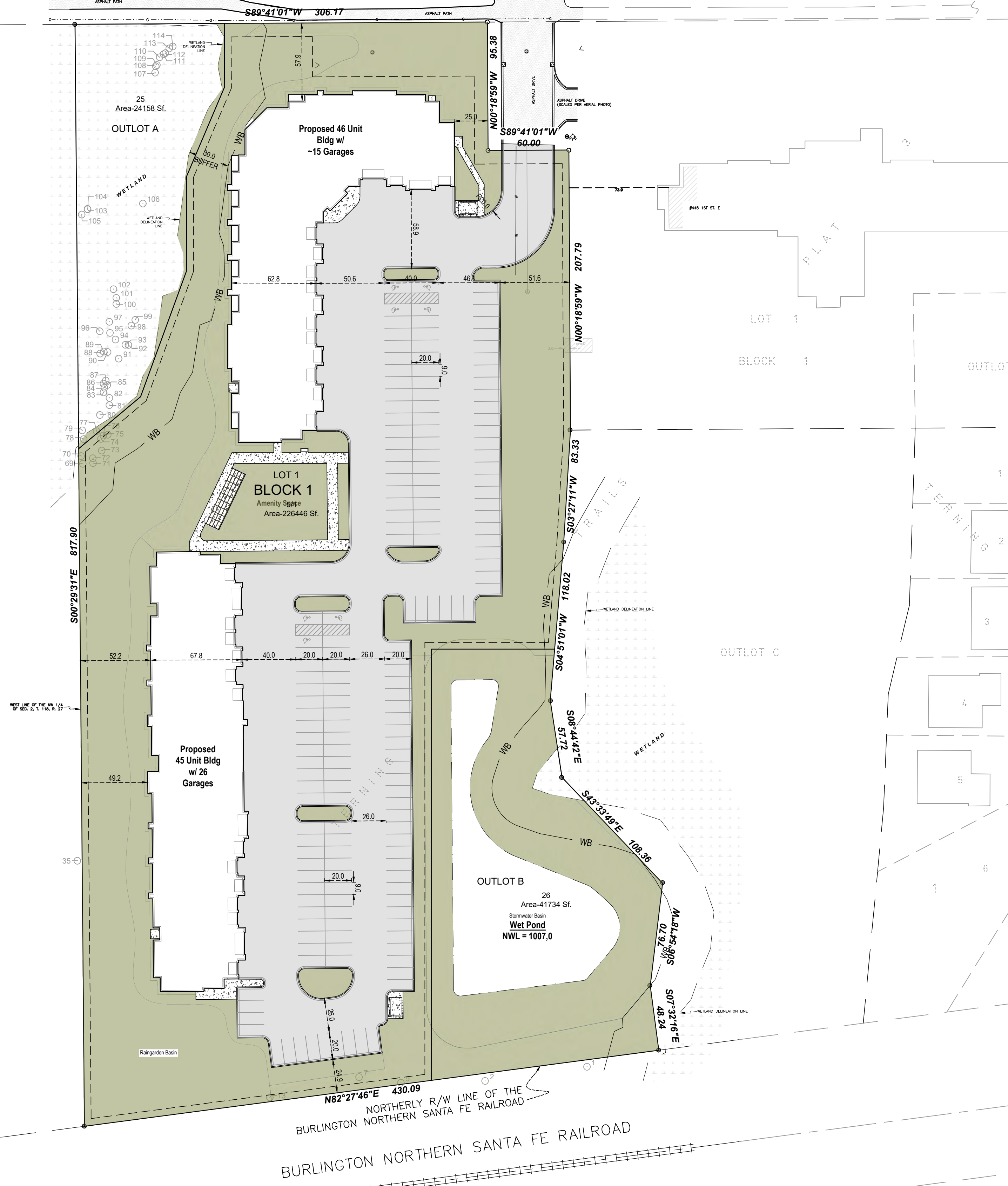
Bearings shown are based upon the plat of TURNING TRAILS PLAT 3



Drawing: P:\Projects\2023 - D Kruess - 1st St Howard Lake, Wright County\Production - Sheet Drawings\2023-C2.0.dwg
 Date: Mar 09 2023, 3:30 PM
 X-ref: Dwg: 2023-03-09-01-01.dwg
 X-ref: Dwg: 2023-03-09-01-02.dwg
 X-ref: Dwg: 2023-03-09-01-03.dwg
 X-ref: Dwg: 2023-03-09-01-04.dwg
 X-ref: Dwg: 2023-03-09-01-05.dwg

MINNESOTA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY PLAT NO. 86-43
U.S. HWY. NO. 12

1ST STREET EAST NORTH LINE OF THE NW 1/4 OF SEC. 2, T. 118, R. 27



General Site Notes

- For surveying and construction staking, contact Land & Resource Consulting 763.340.0699.
- Dimensions are to outside foundation wall, back of curb or edge of bituminous pavement unless noted otherwise on the drawings.
- The building and structure location and orientation is shown on the plans in relation to the property boundary and right-of-way.
- Building and structure dimensions are approximate. Architectural and structural plans shall be utilized to stake the new structures and buildings.
- Erosion control and sedimentation control measures shall be installed and inspected prior to the start of construction.
- City infrastructure shall be built in accordance with Howard Lake material and construction methods. In the event of a discrepancy, the Howard Lake Standards shall govern.
- Improvements within the County right-of-way shall be constructed in accordance with County Construction Standards. In the event of a discrepancy, the County Standards shall govern.

Zoning & Setback Summary

Existing Zoning Designation: Planned Unit Development (PUD)

Building Setback Provided:
 Front Yard: 30'
 Rear Yard: 25'
 Side Yard (Interior): 10'
 Side Yard (ROW): 25'

Parking Setback Information
 Front Yard: 30'
 Rear: 5'
 Side: 5'

Minimum Lot Size: 15,000 Sq. Ft.
 Minimum Lot Width, Base Standard: 85'

Area Summary

Category	Area (sf)	Area (ac)	Percentage
Existing:			
Pervious:	292,487	6.7	100%
Impervious:	0.0	0.0	0.0%
Total	292,894	6.7	100%

Category	Area (sf)	Area (ac)	Percentage
Proposed:			
Pervious:	156,539	3.6	53.4%
Impervious:	136,355	3.1	46.6%
Total	292,894	6.7	100%

Parking Summary

Required Parking
 Minimum Parking Stalls Required: 2.25 per unit
 for 91 Units: 205 total stalls

Provided Parking
 Standard Surface Stalls: 170
 Underground Stalls: 35
 Total: 205

Building and Unit Areas

Apartment - North	Apartment - South
Building Area: 22,366 s.f.	Building Area: 21,325 s.f.
1 Bedroom: 690 s.f.	1 Bedroom: 690 s.f.
2 Bed/1 Bath: ~900 s.f.	2 Bed/2 Bath: 1070 s.f.
2 Bed/2 Bath: 1140 s.f.	

Apartment Phasing

North Apartment - Phase 1	South Apartment - Phase 2
Total Units: 46	Total Units: 45
1 Bedroom / 1 Bath: 22	1 Bedroom / 1 Bath: 20
2 Bedroom / 1 Bath: 1	2 Bedroom / 2 Bath: 25
2 Bedroom / 2 Bath: 23	

Legend

- Open Space
- WB Wetland Buffer

DRAWINGS BY

14260 23rd Ave N
 Plymouth, MN
 Phone: 763-340-0699

DRAWINGS FOR

Buffalo Lake Partners, LLC

9705 45th Ave N
 Unit 42 #1176
 Plymouth, MN 55442

PROJECT

Multi-Family Residential Development

Howard Lake, MN

CERTIFICATION

PRELIMINARY NOT FOR CONSTRUCTION

ISSUED FOR

ISSUE / REVISION	DATE
Preliminary Plat Submittal	12-05-2022
Preliminary Plat Submittal	03-10-2022

SUBMITTAL INFO

Review By: RH
 Project #: 22026
 Submittal Date: 03-10-2023
 Submittal Phase: Preliminary Plat Submittal

SHEET TITLE

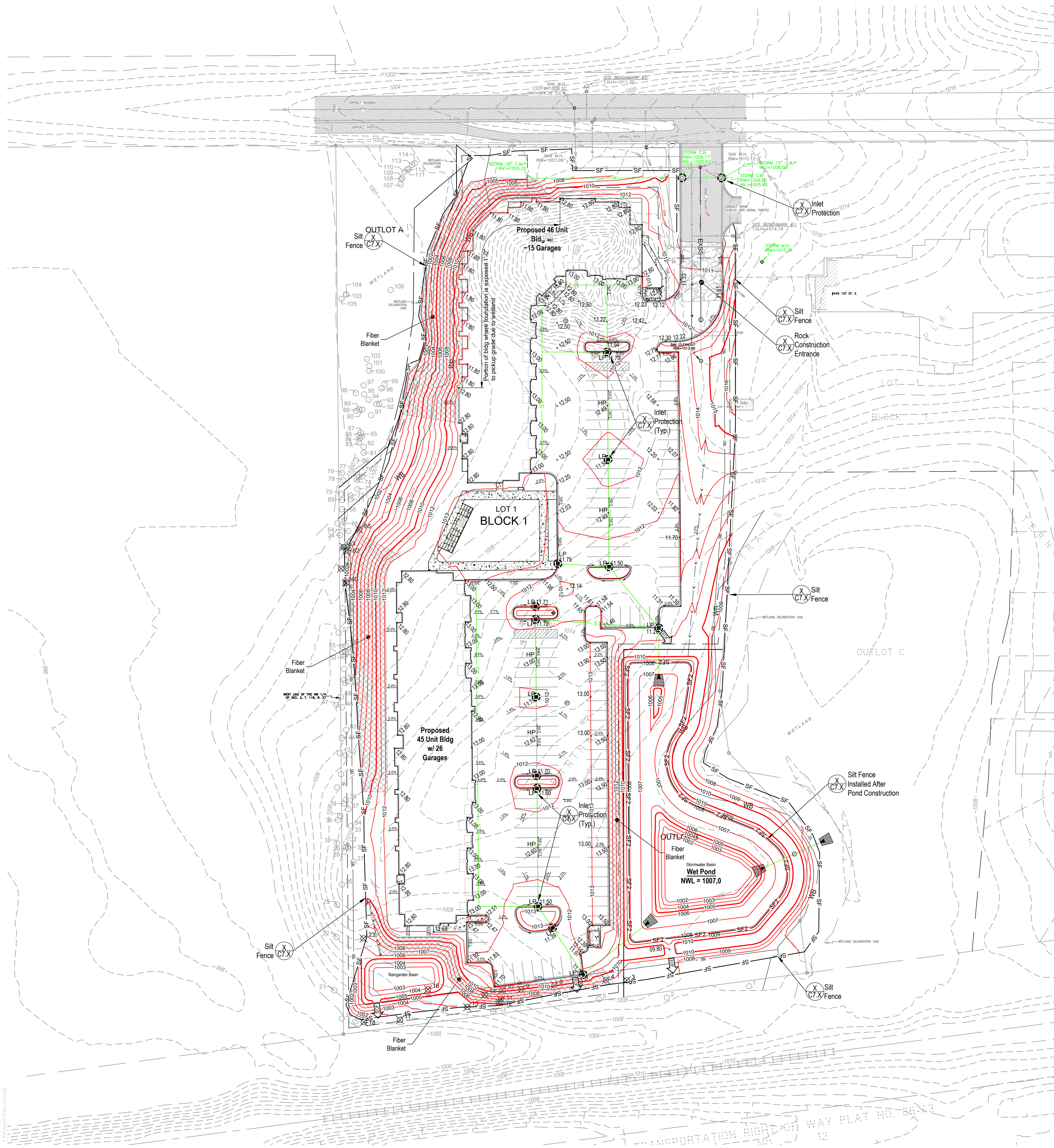
Site Plan

SHEET NUMBER

C2.1

Copyright Land & Resource Consulting

Drawing: P:\Projects\2023\03-10-2023\Howard Lake, Wright City\Production_Sheet Drawings\22026-C2.1.dwg
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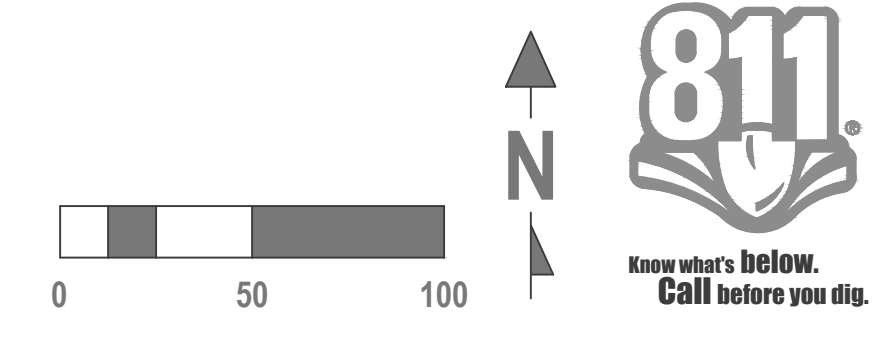
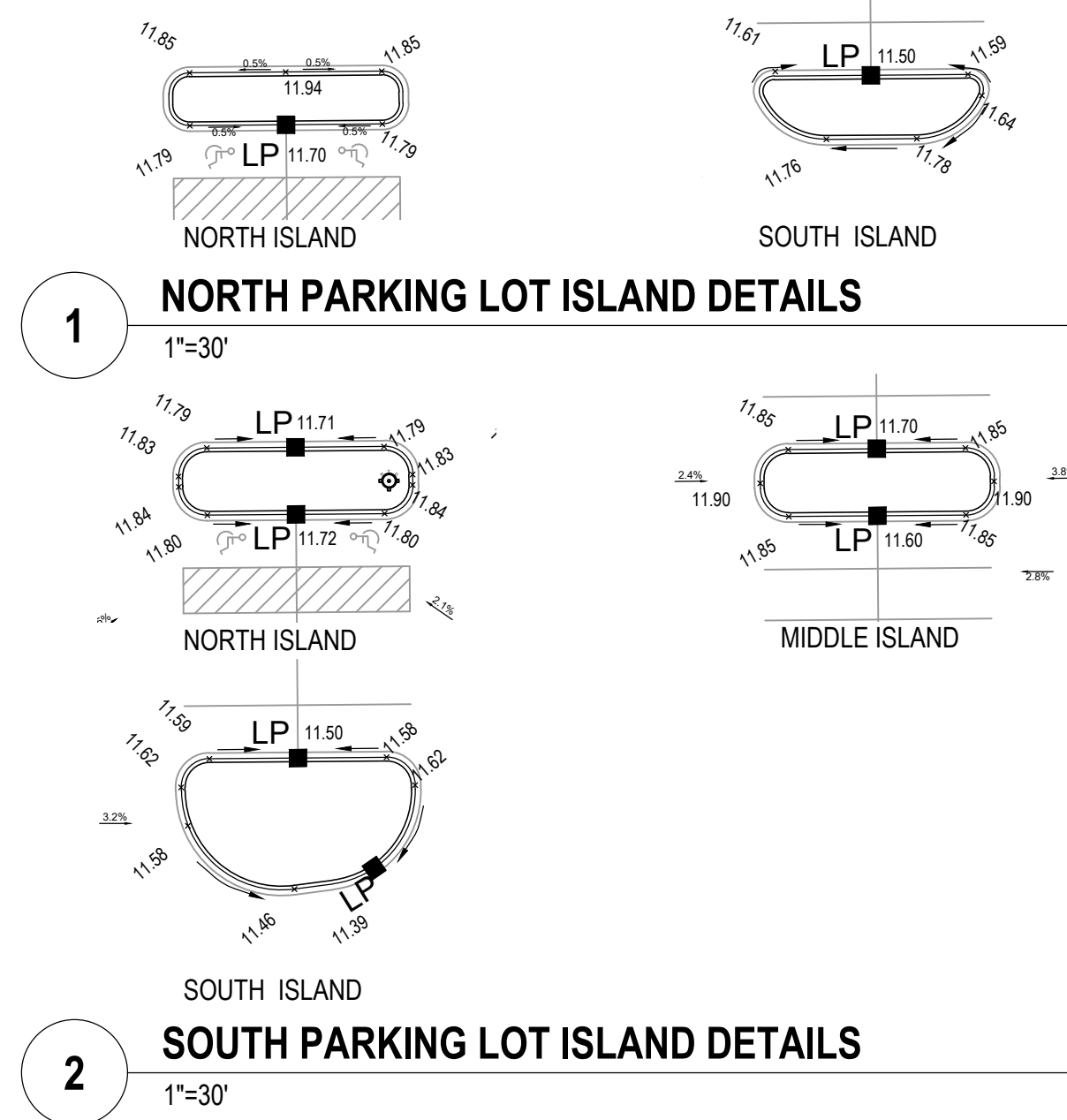
General Grading & Erosion Control Notes

- For surveying and construction staking, contact Land & Resource Consulting 763.340.0699.
- Erosion control measures shall be installed prior to the start of construction.
- Install inlet protection: Wimco RD or CG models or approved equal. Inspect, clean and maintain inlet protection through the course of construction.
- Soil disturbance and grading practices shall be minimized and staged as much as possible. Restoration and stabilization shall be installed in accordance with the SWPPP time requirements or sooner.
- All erosion control practices shown are to be considered the minimum. Additional erosion control practices, measures and materials may be necessary to stabilize sediment within the construction site during construction.
- Infiltration areas shall be protected during the course of construction to prevent migration of sediment into the infiltration areas. Sediment must be removed from the basin bottom and the surface shall be roughed and scarified to achieve the original infiltration rates.
- Surface stabilization and turf shall meet the following standards:

Item	MnDOT Ref. Spec.
Sod	MnDOT 3878
Seed	MnDOT 3876
Apply MN Type 21-111 @ 100 lb./acre - Temporary Erosion Control (May 1 - July 31)	
Apply MN Type 21-112 @ 100 lb./acre - Temporary Erosion Control (Aug. 1 - Oct. 31)	
Apply MN Type 25-151 /2 120 lb./acre - Permanent Turf	
Mulch	MnDOT 3882
Install MN Type 1 @ 2 ton/acre - Disc anchored	
Erosion Control Blanket	MnDOT 3885
Install MN Type 3N (12 mo.) or Type 4N (24 mo.)	
Fertilizer	MnDOT 3881
Apply in accordance with product standards. MN	
- Clear and grub construction area. Stockpile topsoil for reuse.
- Spot grades are at gutter line unless noted otherwise

Legend

- Silt Fence
- Silt Fence installed after grading
- Inlet Protection
- Vehicle Tracking Pad
- Erosion Control Blanket
- Spot Elevation



DRAWINGS BY

LRC
Land & Resource Consulting
14260 23rd Ave N
Plymouth, MN
Phone: 763-340-0699

DRAWINGS FOR

Buffalo Lake Partners, LLC
9705 45th Ave N
Unit 42 #1176
Plymouth, MN 55442

PROJECT

Multi-Family Residential Development
Howard Lake, MN

CERTIFICATION

PRELIMINARY NOT FOR CONSTRUCTION

ISSUED FOR

ISSUE / REVISION	DATE
Preliminary Plat Submittal	12-05-2022
Preliminary Plat Submittal	03-10-2022

SUBMITTAL INFO

Review By: RH
Project #: 22026
Submittal Date: 03-10-2023
Submittal Phase: Preliminary Plat Submittal

SHEET TITLE

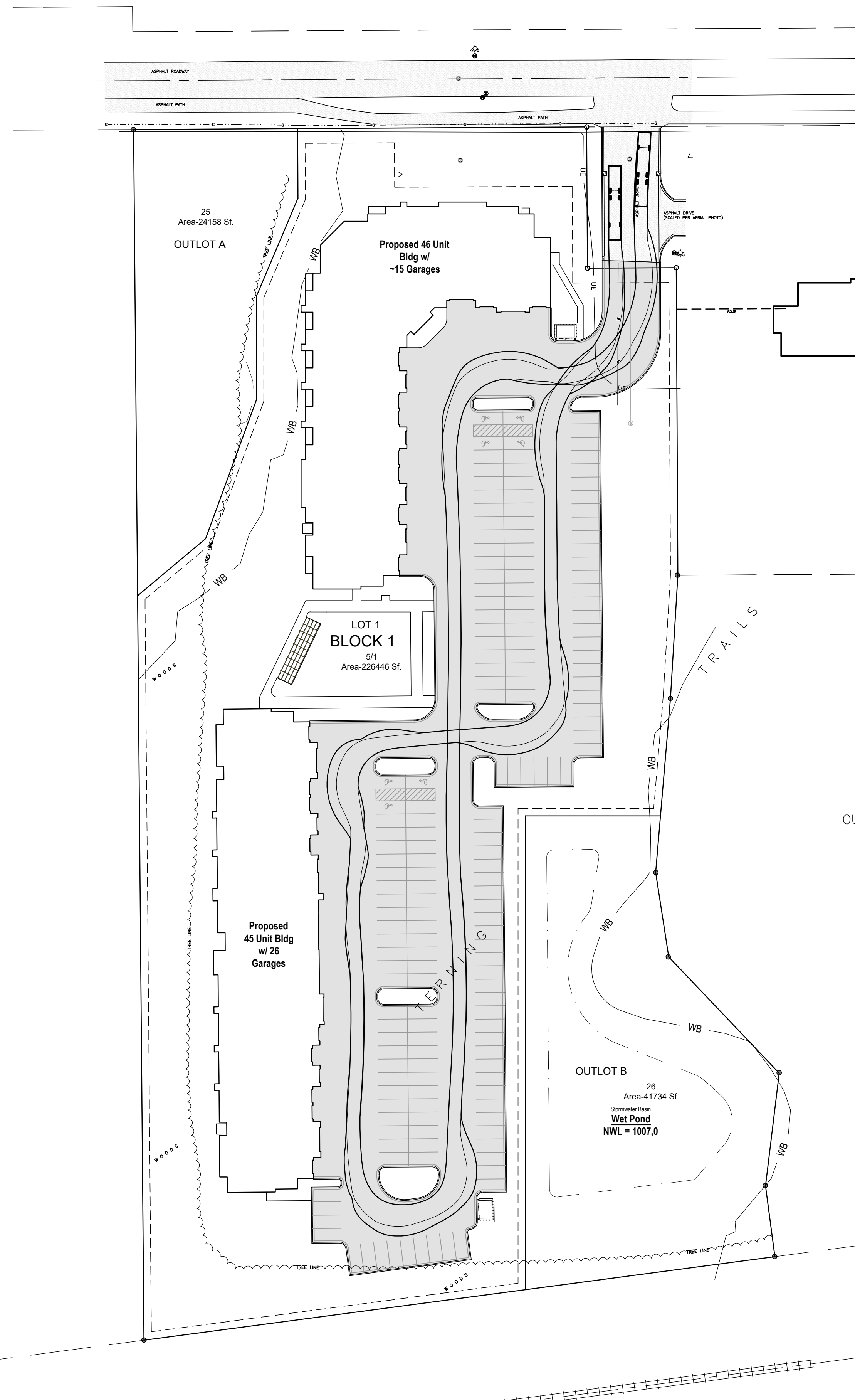
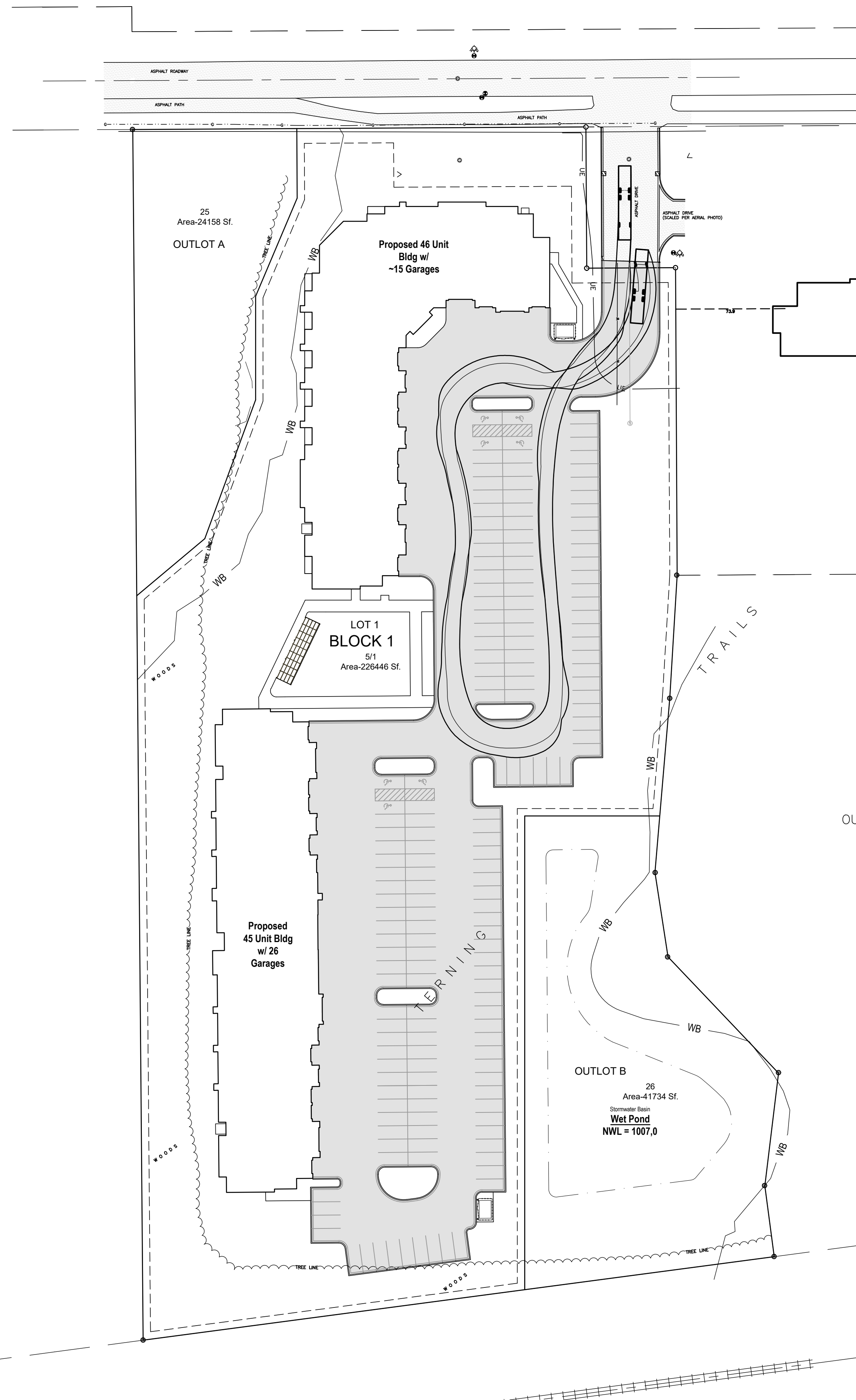
Grading Plan

SHEET NUMBER

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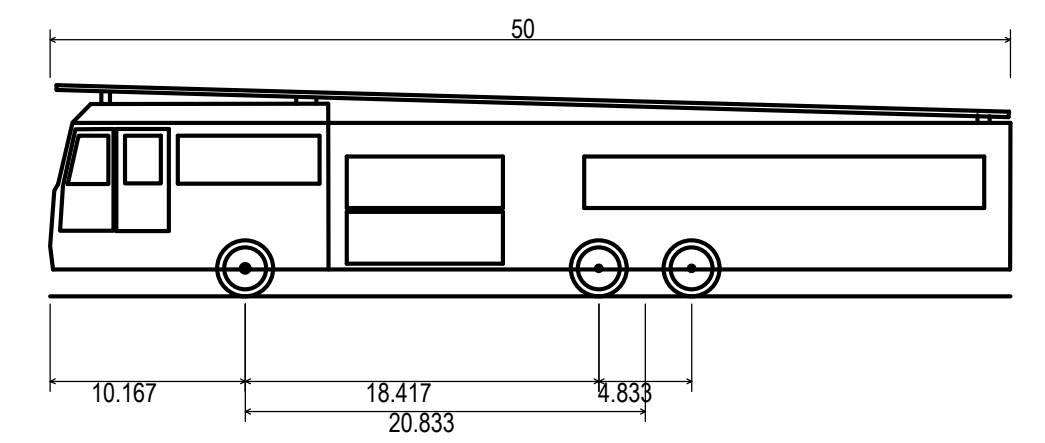
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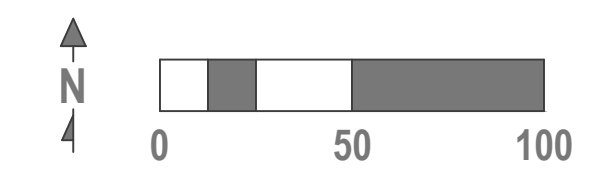
BUFFALO LAKE PARTNERS

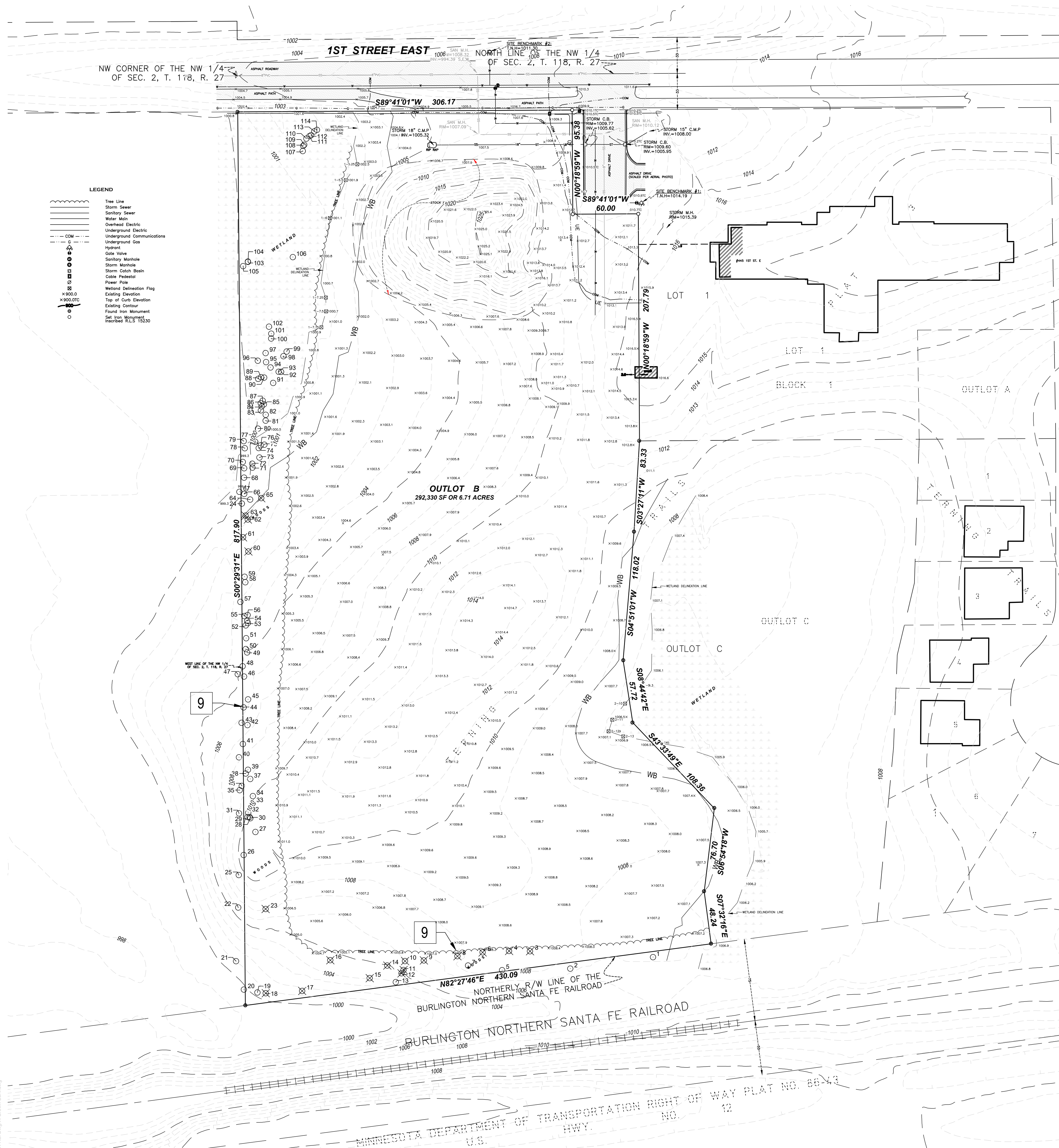
FIRE ACCESS EXHIBIT - PHASE 1 AND 2

Project: Multi-Family in Howard Lake



E-ONE HP95 Mid Mount-edit 50'	50.000ft
Overall Length	8.333ft
Overall Width	11.000ft
Overall Body Height	1.393ft
Min Body Ground Clearance	8.333ft
Track Width	6.00s
Lock-to-lock time	45.00°
Max Wheel Angle	





LEGEND

	Tree Line
	Storm Sewer
	Sanitary Sewer
	Water Main
	Overhead Electric
	Underground Electric
	Underground Communications
	Underground Gas
	Hydrant
	Gate Valve
	Sanitary Manhole
	Storm Manhole
	Storm Catch Basin
	Cable Pedestal
	Power Pole
	Wetland Delineation Flag
	Existing Elevation
	Top of Cut Elevation
	Existing Contour
	Found Iron Monument
	Set Iron Monument
	Ironed RLS 1530

Legal Description

OUTLOT B, TERNING TRAILS PLAT 3 according to the recorded plat thereof, Wright County, Minnesota.

Existing Conditions

- Existing conditions shown are based on actual field survey by W Brown Surveying, City of Howard Lake utility records and utility service provider records and is approximate. Existing conditions shall be verified prior to the start of construction and any inconsistencies shall be reported to the engineer or owner/developer immediately.

Demolition and Clearing

- All temporary erosion control measures shall be installed and inspected prior to the start of construction. Refer to sheet 3.1 for erosion prevention and sedimentation control measures utilized.
- Contractor shall obtain permits for demolition, removals, clearing, grubbing and disposal prior to the start of construction.
- Dimensions illustrating the limits of demolition and removals are approximate. Coordinate the actual limits of demolition with the proposed improvements.
- Schedule and complete public roadway demolition and replacement to minimize impacts to traffic.
- All lane closures and work within the public right-of-way shall be reported to the City of Howard Lake and Sherburne County 7 days prior to the start of construction.
- Emergency access through the construction areas shall be maintained throughout the course of construction.
- Contractor shall provide barricades, lights, signs traffic control and other measures necessary to ensure safe traffic flow during the course of construction.
- Features not designated to be removed shall be protected during the course of construction. Damage to features not designated for removal or altered as part of this project shall be repaired or replaced at no additional cost to the developer, city or county
- Trees designated for removal includes the root structure. Trees on or near the limits of grading or removals shall be saved unless noted otherwise on the plans. Trees and stumps may be ground onsite. Chipped materials shall not be mixed into subgrade materials under any structures.
- Contractor shall remove all features including, but not limited to underground utilities, fence, walls, footings, walls, lighting, signs, stairs, and landscaping within the grading and demolition limits unless otherwise noted on the plans.
- Coordinate removal, termination, and reuse of existing utilities and appurtenances with service providers. Restore all disturbed utilities or coordinate repair/replacement with the utility service providers.
- Existing conduits and underground pipes may be abandon in-place if filled properly with sand or flowable fill if the existing utilities are ore not in conflict with existing or proposed utilities or structures. Termination of a utility shall be completed in accordance with the utility service provider's standards.
- Demolition debris shall become property of the contractor unless noted otherwise on the plans. All construction debris shall be removed from the site to an approved location.
- Report the presence of wells and drain fields and septic tanks to the engineer and owner.

Legend

- ^{XX} Existing Tree
- ⊗^{XX} Existing Tree, Removed

DRAWINGS BY

LRC
Land & Resource Consulting

14260 23rd Ave N
Plymouth, MN
Phone: 763-340-0699

DRAWINGS FOR

Buffalo Lake Partners,
LLC

9705 45th Ave N
Unit 42 #1176
Plymouth, MN 55442

PROJECT

**Multi-Family
Residential
Development**

Howard Lake, MN

CERTIFICATION

**PRELIMINARY
NOT FOR
CONSTRUCTION**

ISSUED FOR

ISSUE / REVISION	DATE
Preliminary Plat Submittal	12-05-2022
Preliminary Plat Submittal	03-10-2022

SUBMITTAL INFO

Review By: RH
Project #: 22026
Submittal Date: 03-10-2023
Submittal Phase: Preliminary Plat Submittal

SHEET TITLE

**Existing
Conditions
& Demolition**

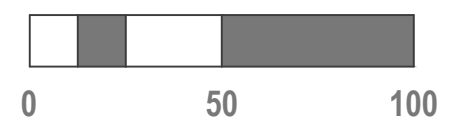
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C1.0

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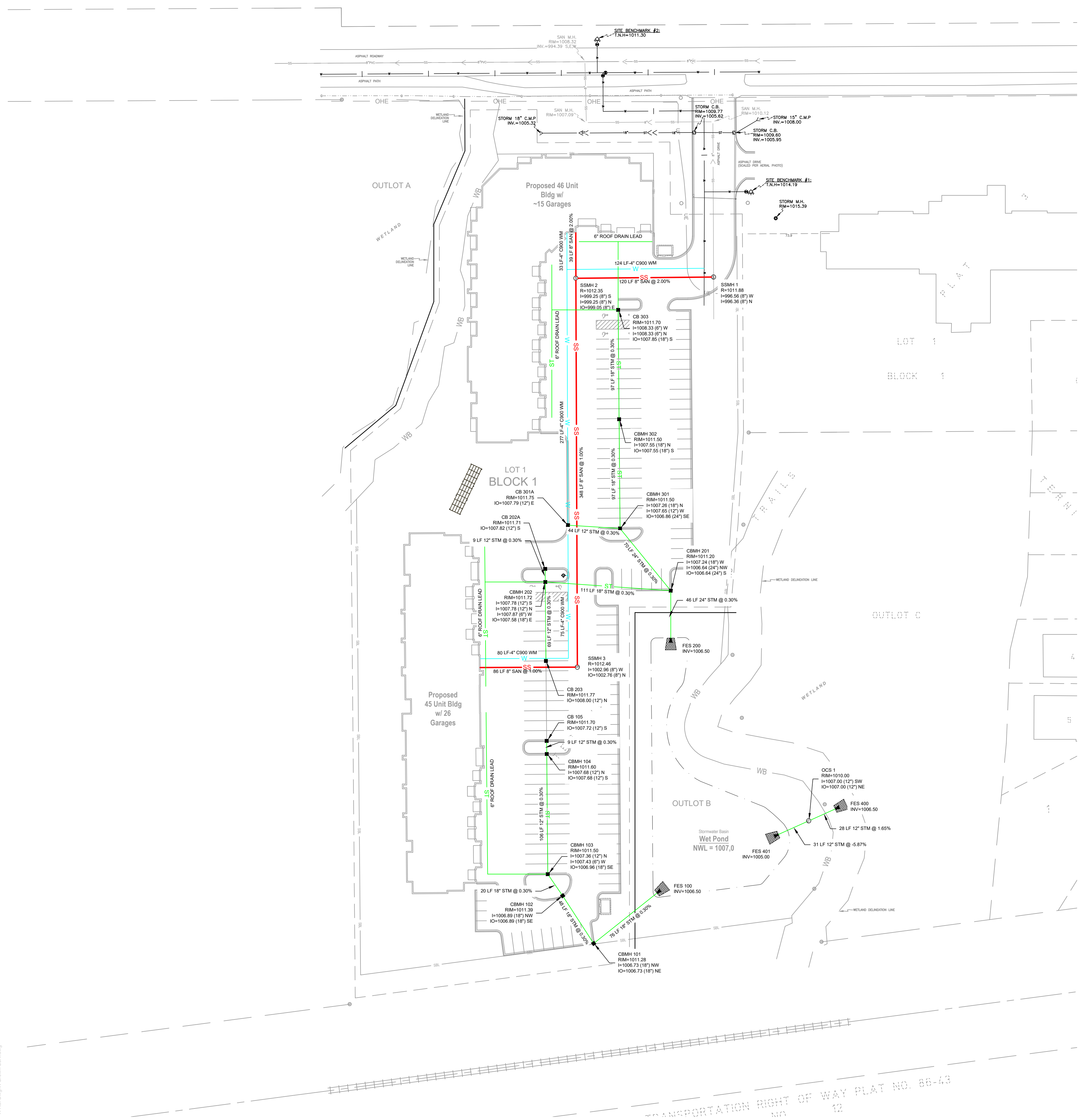
Existing Conditions Survey By:

W. BROWN LAND SURVEYING, INC.
9030 OLD CEDAR AVENUE SO., SUITE 228
BLOOMINGTON, MN 55425
PH: (952) 854-4005
WWW.BROWNLANDSURVEYING.COM
EMAIL: INFO@BROWNLANDSURVEYING.COM



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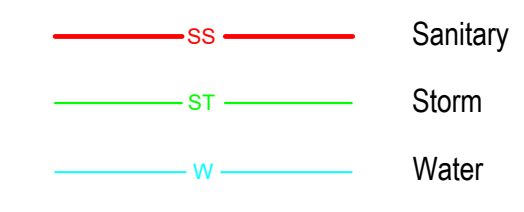
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 X-REF: Dwg: 2026-LUL-Ang



Utility Notes

- For surveying and construction staking, contact Land & Resource Consulting 763.340.0699.
- Erosion control measures shall be installed prior to the start of construction.
- Obtain all necessary permits prior to the start of construction.
- Contact all utility service providers a minimum of 72 hours prior to the start of construction.
- Pipe Materials
 - Storm Sewer: 12"-18" RCP Class 5 (ASTM C76) 21" and greater Class 4 (ASTM C76)
 - Sanitary Sewer: PVC SDR 35, SDR 26 Service: PVC Schedule 40
 - Watermain: DIP Class 52 Service: Copper Type K
- Contractor shall field verify horizontal and vertical location of all utilities prior to the start of construction.
- Contractor shall investigate, excavate and expose existing utilities at crossings and potential conflicts prior to the start of utility installation. Report inconsistencies to the engineer and owner immediately.
- Pipe lengths on the plans are measures from center of structure to center of structure.
- Tracer wire shall be installed for all non-conductive underground utilities in accordance with City of Howard Lake Standards.
- Compaction and backfill shall be in accordance with the geotechnical investigation and the City of Howard Lake construction and design practices.
- Testing frequency shall be in accordance with the geotechnical engineer and City of Howard Lake Standards.
- Proposed driveway culverts shall be individually approved by the City of Howard Lake on a case-by-case basis.
- Watermain is to have minimum cover of 7.5 feet.

Legend

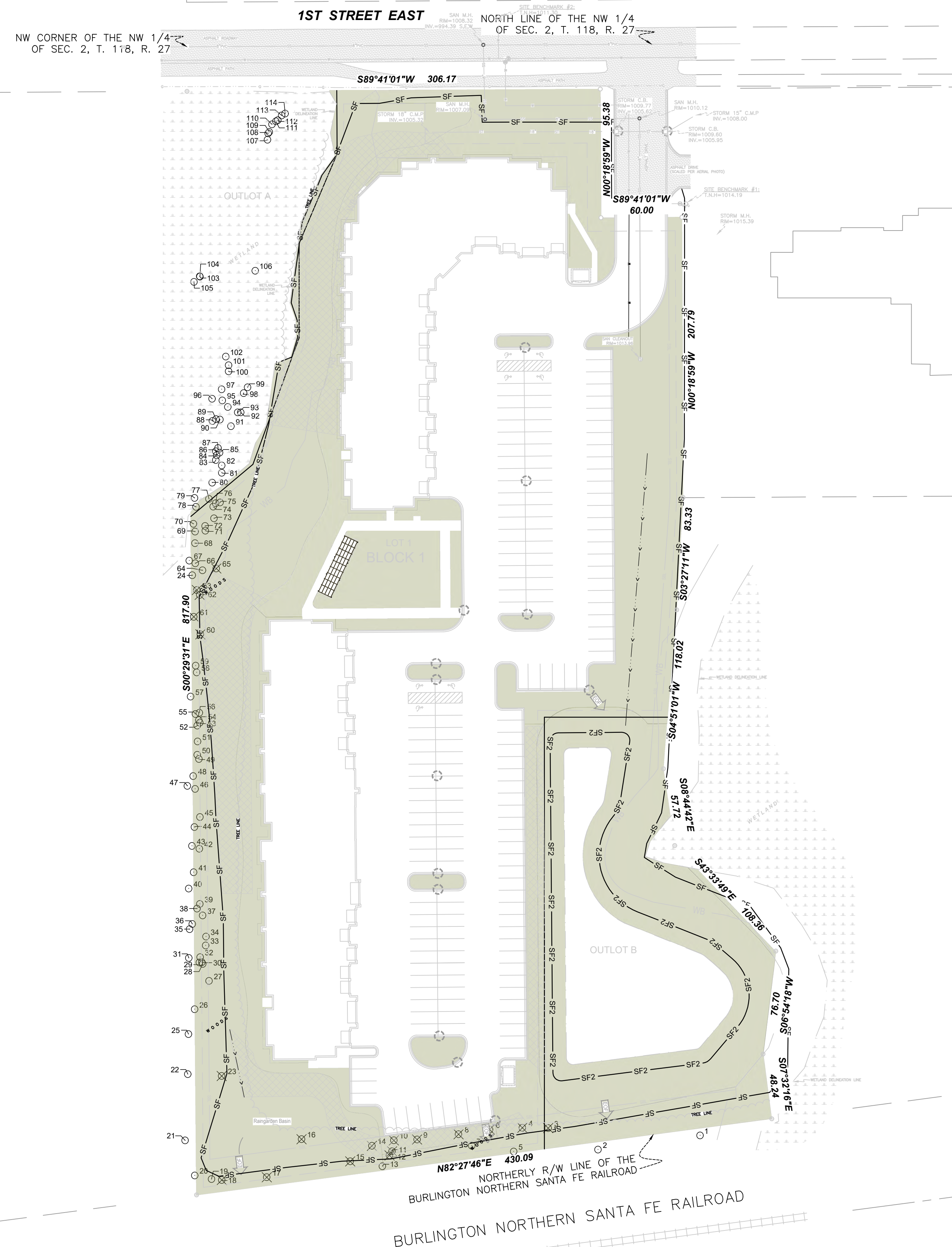


DRAWINGS BY	
 Land & Resource Consulting 14260 23rd Ave N Plymouth, MN Phone: 763-340-0699	
DRAWINGS FOR	
Buffalo Lake Partners, LLC 9705 45th Ave N Unit 42 #1176 Plymouth, MN 55442	
PROJECT	
Multi-Family Residential Development Howard Lake, MN	
CERTIFICATION	
PRELIMINARY NOT FOR CONSTRUCTION	
ISSUED FOR	
ISSUE / REVISION	DATE
Preliminary Plat Submittal	12-05-2022
Preliminary Plat Submittal	03-10-2022
SUBMITTAL INFO	
Review By: RH Project #: 22026 Submittal Date: 03-10-2023 Submittal Phase: Preliminary Plat Submittal	
SHEET TITLE	
Utility Plan	
SHEET NUMBER	
C4.0	
Copyright Land & Resource Consulting	

N

TRANSPORTATION RIGHT OF WAY PLAT NO. 86-43
NO 12

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 XREF Dwg: 2026-EACD.dwg
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 XREF Dwg: 2026-ESD.dwg



Tree Protection Notes

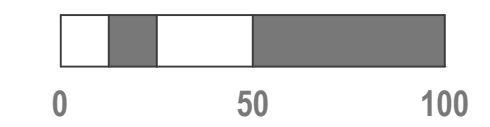
1. See Sheet L1.1 for a Tree List providing species and removals.
2. The contractor shall give particular attention and care to prevent any damage to all existing vegetation which is beyond the project construction limits. Every attempt shall be made by the contractor to protect and save the vegetation that is adjacent to and beyond the construction limits.
3. At all times during the course of the project, the contractor shall avoid or minimize soil compaction, pollution, erosion, and impacts to existing vegetation.
4. Bulk materials, equipment, or vehicles shall not be stockpiled or parked within the dripline of any tree, or within 10 ft of the trunk (whichever is greater) to minimize surface and subsurface root and soil compaction. This applies to all areas within or outside the contract limit line.
5. Tree protection fencing must be maintained on a regular basis and repaired and/or re-staked as needed.
6. No construction equipment or material stockpiles are permitted within the protected areas.
7. No contaminants from wastewater from construction activities shall be disposed or within or around protected areas.

Construction within Critical Root Zone

1. Excavated areas shall be backfilled immediately. Exposed root shall be covered with burlap or other approved material, and kept constantly moist. Covering shall be checked two times a days - once in the morning and once in the afternoon - in order to maintain appropriate levels of moisture until backfill is complete.

Legend

- ^{XX} Existing Tree
- ⊗^{XX} Existing Tree, Removed
- SF — Silt Fence



DRAWINGS BY

 14260 23rd Ave N
 Plymouth, MN
 Phone: 763-340-0699

DRAWINGS FOR
 Buffalo Lake Partners, LLC
 9705 45th Ave N.
 Unit 42 #1176
 Plymouth, MN 55442

PROJECT
 Multi-Family Residential Development
 Howard Lake, MN

CERTIFICATION
 PRELIMINARY NOT FOR CONSTRUCTION

ISSUED FOR

ISSUE / REVISION	DATE
Preliminary Plat Submittal	12-05-2022
Preliminary Plat Submittal	03-10-2022

SUBMITTAL INFO
 Review By: RH
 Project #: 22026
 Submittal Date: 03-10-2023
 Submittal Phase: Preliminary Plat Submittal

SHEET TITLE
 Tree Preservation Plan

SHEET NUMBER
 L1.0
 Copyright Land & Resource Consulting

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Tree #	Species	DBH	CRZ	Condition	Stems	Lost
1	Cherry, black	7.5	11.3	Good	1	
2	Boxelder	31.0	46.5	Good	1	
3	Boxelder	6.0	9.0	Fair	1	X
4	Boxelder	15.0	22.5	Fair	2	X
5	Boxelder	7.0	10.5	Fair	1	
6	Boxelder	7.5	11.3	Good	1	X
7	Boxelder	6.0	9.0	Fair	1	
8	Boxelder	17.0	25.5	Good	1	X
9	Elm, American	10.0	15.0	Good	1	X
10	Boxelder	14.0	21.0	Good	1	X
11	Boxelder	9.5	14.3	Fair	1	X
12	Boxelder	13.5	20.3	Good	1	X
13	Boxelder	13.0	19.5	Fair	1	
14	Boxelder	14.0	21.0	Good	1	X
15	Boxelder	10.0	15.0	Fair	1	X
16	Boxelder	15.5	23.3	Fair	1	X
17	Boxelder	15.5	23.3	Good	1	X
18	Boxelder	14.5	21.8	Fair	2	X
19	Boxelder	8.5	12.8	Good	1	
20	Boxelder	7.5	11.3	Good	1	
21	Oak, bur	24.5	36.8	Good	1	
22	Oak, bur	36.0	54.0	Good	1	
23	Elm, American	14.0	21.0	Fair	1	X
24	Boxelder	8.5	12.8	Good	1	
25	Oak, bur	32.0	48.0	Good	1	
26	Boxelder	10.0	15.0	Good	1	
27	Boxelder	8.0	12.0	Good	1	
28	Boxelder	20.0	30.0	Good	3	
29	Boxelder	8.0	12.0	Good	1	
30	Boxelder	8.5	12.8	Good	1	
31	Boxelder	13.0	19.5	Good	1	
32	Boxelder	27.5	41.3	Fair	4	
33	Boxelder	6.5	9.8	Good	1	
34	Boxelder	10.5	15.8	Good	1	
35	Boxelder	7.0	10.5	Good	1	
36	Boxelder	8.5	12.8	Fair	1	
37	Boxelder	6.0	9.0	Fair	1	
38	Boxelder	28.0	42.0	Fair	4	
39	Hackberry	8.5	12.8	Good	1	
40	Boxelder	10.0	15.0	Fair	1	
41	Boxelder	44.0	66.0	Fair	4	
42	Boxelder	13.0	19.5	Good	1	
43	Boxelder	6.5	9.8	Good	1	
44	Boxelder	8.0	12.0	Fair	1	
45	Elm, American	20.0	30.0	Good	1	
46	Boxelder	12.5	18.8	Good	1	
47	Boxelder	17.0	25.5	Good	1	
48	Boxelder	8.0	12.0	Fair	1	
49	Elm, American	19.0	28.5	Fair	1	
50	Boxelder	7.0	10.5	Fair	1	
51	Boxelder	8.5	12.8	Fair	1	
52	Boxelder	10.0	15.0	Fair	1	
53	Boxelder	10.5	15.8	Good	1	
54	Boxelder	8.0	12.0	Fair	1	
55	Boxelder	11.0	16.5	Good	1	
56	Boxelder	6.0	9.0	Fair	1	
57	Boxelder	7.0	10.5	Good	1	

Tree #	Species	DBH	CRZ	Condition	Stems	Lost
58	Boxelder	10.5	15.8	Good	1	
59	Boxelder	11.0	16.5	Fair	1	
60	Boxelder	9.0	13.5	Good	1	X
61	Boxelder	18.0	27.0	Good	1	X
62	Boxelder	11.0	16.5	Fair	1	X
63	Boxelder	16.0	24.0	Good	1	X
64	Boxelder	10.5	15.8	Fair	1	
65	Ash, green	6.0	9.0	Fair	1	X
66	Boxelder	14.0	21.0	Good	1	
67	Boxelder	12.0	18.0	Good	1	
68	Boxelder	12.0	18.0	Good	1	
69	Boxelder	6.5	9.8	Fair	1	
70	Boxelder	7.5	11.3	Fair	1	
71	Boxelder	10.0	15.0	Fair	1	
72	Boxelder	10.0	15.0	Good	1	
73	Boxelder	13.5	20.3	Good	1	
74	Boxelder	6.5	9.8	Fair	1	
75	Boxelder	7.0	10.5	Fair	1	
76	Boxelder	8.0	12.0	Fair	1	
77	Boxelder	11.5	17.3	Good	1	
78	Boxelder	6.5	9.8	Fair	1	
79	Boxelder	11.5	17.3	Good	1	
80	Boxelder	11.0	16.5	Fair	1	
81	Boxelder	9.0	13.5	Fair	1	
82	Boxelder	10.0	15.0	Good	1	
83	Boxelder	17.5	26.3	Good	1	
84	Boxelder	7.5	11.3	Good	1	
85	Boxelder	7.5	11.3	Good	1	
86	Boxelder	8.0	12.0	Good	1	
87	Boxelder	21.5	32.3	Good	2	
88	Boxelder	7.5	11.3	Good	1	
89	Boxelder	6.0	9.0	Good	1	
90	Boxelder	11.0	16.5	Good	1	
91	Boxelder	6.5	9.8	Fair	1	
92	Boxelder	8.5	12.8	Good	1	
93	Boxelder	10.0	15.0	Good	1	
94	Boxelder	11.5	17.3	Good	1	
95	Boxelder	7.5	11.3	Good	1	
96	Boxelder	9.5	14.3	Good	1	
97	Boxelder	11.5	17.3	Good	1	
98	Boxelder	11.5	17.3	Good	1	
99	Boxelder	8.0	12.0	Fair	1	
100	Boxelder	8.0	12.0	Fair	1	
101	Boxelder	14.5	21.8	Good	2	
102	Boxelder	14.0	21.0	Fair	1	
103	Willow	13.0	19.5	Good	1	
104	Willow	18.0	27.0	Good	1	
105	Willow	41.0	61.5	Good	3	
106	Boxelder	27.0	40.5	Fair	3	
107	Boxelder	9.0	13.5	Good	1	
108	Boxelder	6.0	9.0	Good	1	
109	Boxelder	7.0	10.5	Fair	1	
110	Boxelder	8.5	12.8	Good	1	
111	Boxelder	6.5	9.8	Fair	1	
112	Boxelder	9.5	14.3	Good	1	
113	Boxelder	12.5	18.8	Fair	1	
114	Boxelder	8.0	12.0	Fair	1	

DRAWINGS BY



14260 23rd Ave N
 Plymouth, MN
 Phone: 763-340-0699

DRAWINGS FOR

Buffalo Lake Partners,
 LLC

9705 45th Ave N,
 Unit 42 #1176
 Plymouth, MN 55442

PROJECT

**Multi-Family
 Residential
 Development**

Howard Lake, MN

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 Submittal Phase: Preliminary
 Plat Submittal

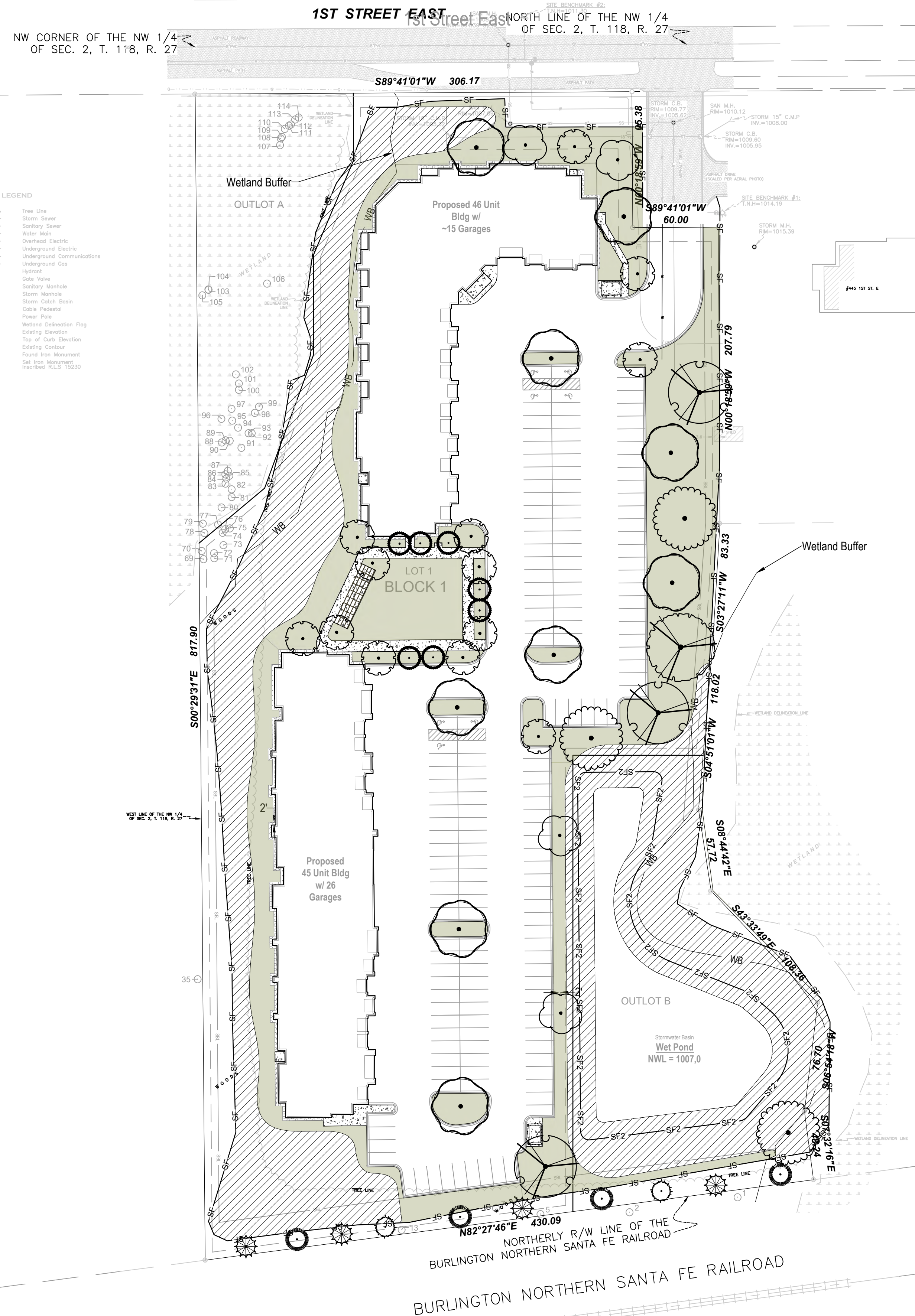
SHEET TITLE

Tree List

SHEET NUMBER

L1.1

Copyright Land & Resource Consulting



Landscape Site Notes

- Landscape contractor shall visit the site prior to submitting bid to become completely familiar with site conditions.
- It is the responsibility of the owner & contractor to identify all underground cables and utilities on the property.
- Coordinate installation with Contractors performing related work.
- No planting will be installed until all grading and construction has been completed in immediate area.
- Place plants according to layout with the proper spacing. If the contractor feels an error has been made regarding spacing or hardness of a species of plant material indicated on the plan, notify the landscape architect prior to the installation of the plant material.
- All newly installed plant material shall be planted in well-drained areas, contractor shall avoid installing any plant material in drainage swales or wet or poorly drained areas.
- All planting areas with groundcover, perennials, or annuals shall receive a minimum of 8" settled depth of planting soil. Planting soil shall consist of 45% topsoil, 45% peat or manure, and 10% clean sand, thoroughly mixed.
- Areas being seeded - follow MnDOT Seeding Manual for seeding instructions for establishment of native seed and provide coordination for required erosion prevention and sediment control.
- Install 4' diameter shredded hardwood mulch, at a depth of 3", under all trees that aren't within planting beds. Mulch should not be piled against the trunk.
- All plant material shall conform to the American Association of Nurserymen Standards. Plants will be rejected if not in sound and healthy condition.
- Any native seeds shall be of Minnesota origin and certified by the Minnesota Crop Improvement Association.
- Inspect all trees for encircling roots, reject any trees that are severely affected.
- Maintain trees in plumb position throughout the guarantee period.
- New plant material shall be guaranteed for 12 months from the time planting has been completed. All plants shall be alive, of good quality, and disease free at the end of the warranty period or be replaced. Any replacements shall be warranted for 12 months from the time of planting.
- Irrigation system to be designed and installed by owner / contractor. After installation, the landscape contractor shall direct or control the irrigation system during the plant guarantee period to insure new plantings are being properly watered.

Plant Schedule

CONIFEROUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	MATURE SIZE	PLANTING SIZE	PLANTING TYPE
	AC	4	Abies concolor / White Fir	50' H x 20' W	6' Ht.	B&B
	JV	2	Juniperus virginiana / Eastern Redcedar	45' H x 20' W	6' Ht.	B&B
	PD	4	Picea glauca 'Densata' / Black Hills White Spruce	30' H x 20' W	6' Ht.	B&B
DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	MATURE SIZE	PLANTING SIZE	PLANTING TYPE
	AS	9	Acer saccharum 'Baillata' / Fall Fiesta® Sugar Maple	60' H x 50' W	2.5" cal.	B&B
	AG	7	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry	20' H x 20' W	1.5" cal.	B&B
	BN	3	Betula nigra / River Birch	50' H x 50' W	2.5" cal.	B&B
	GB	4	Ginkgo biloba / Maidenhair Tree	50' H x 35' W	2.5" cal.	B&B
	GT	13	Gleditsia triacanthos inermis 'Sunburst' / Sunburst Honey Locust	30' H x 30' W	2.5" cal.	B&B
	QB	3	Quercus bicolor / Swamp White Oak	55' H x 55' W	2.5" cal.	B&B
	QR	1	Quercus rubra / Red Oak	70' H x 60' W	2.5" cal.	B&B

Legend

- Seed Mix MnDOT 25-131 Low Maintenance Turf Seed Rate: 220 lb/acre
- Seed Mix MnDOT 33-261 Stormwater South & West Seed Rate: 35 lb/acre
- Landscape Rock
- Silt Fence
- Silt Fence installed after grading

Drawing: P:\Projects\2023\118\118_SantaFe\118_SantaFe_Landscape\118_SantaFe_Landscape.dwg
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BUILDING 'A' INFORMATION:

FIRST FLOOR:
APPROXIMATELY 22,000 SQUARE FEET
(6) 1 BEDROOM / 1 BATH UNITS
(4) 2 BEDROOM / 2 BATH UNITS
TOTAL: (10) UNITS
(17) INDOOR PARKING STALLS

SECOND FLOOR:
APPROXIMATELY 22,000 SQUARE FEET
(8) 1 BEDROOM / 1 BATH UNITS
(10) 2 BEDROOM / 2 BATH UNITS
TOTAL: (18) UNITS

THIRD FLOOR:
APPROXIMATELY 22,000 SQUARE FEET
(8) 1 BEDROOM / 1 BATH UNITS
(10) 2 BEDROOM / 2 BATH UNITS
TOTAL: (18) UNITS

BUILDING TOTAL:
APPROXIMATELY 66,000 SQUARE FEET
(22) 1 BEDROOM / 1 BATH UNITS
(24) 2 BEDROOM / 2 BATH UNITS
TOTAL: (46) UNITS
(17) INDOOR PARKING STALLS



FRONT SIDE OF BUILDING 'A'



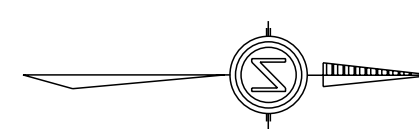
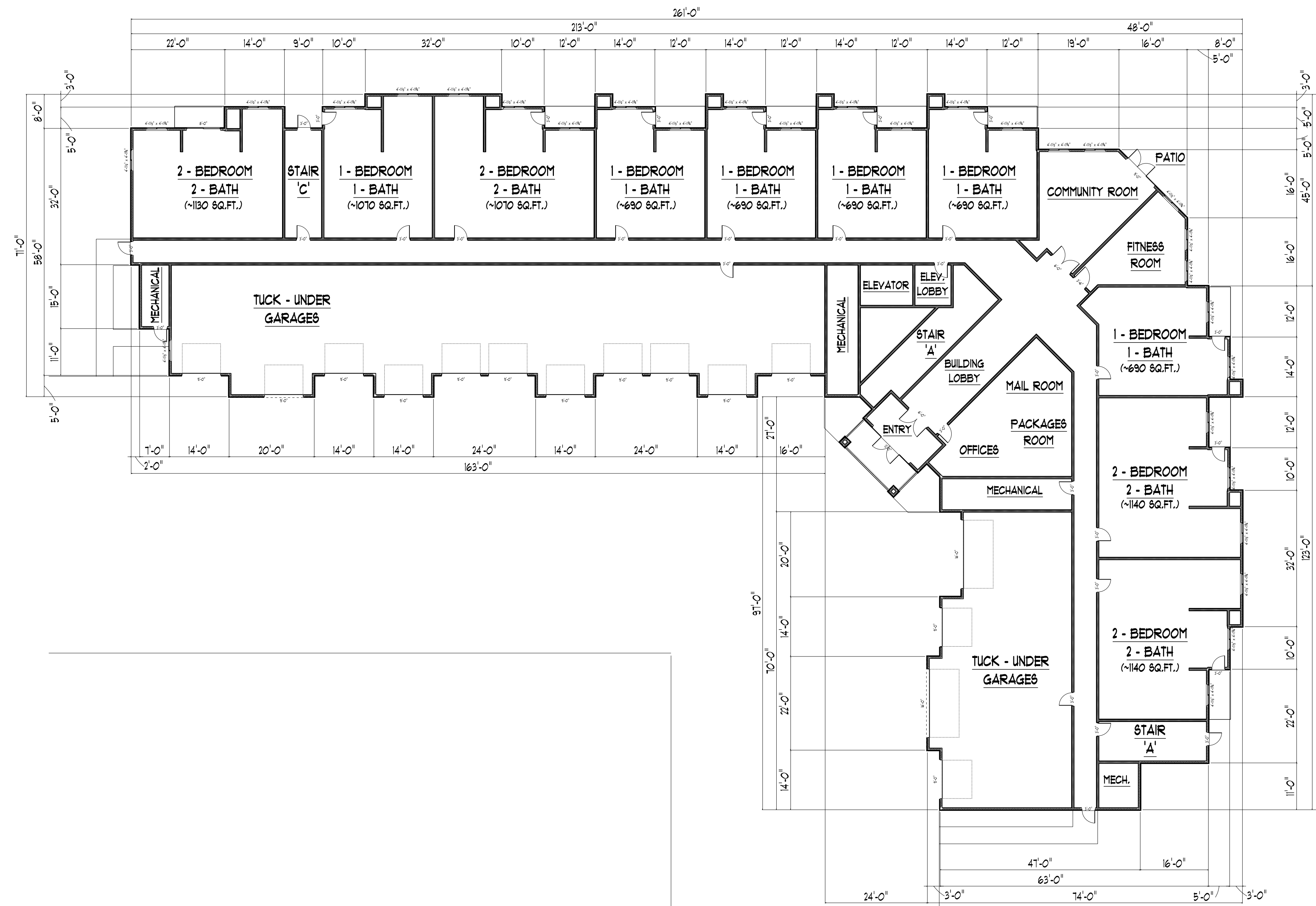
REAR SIDE OF BUILDING 'A'



HOWARD LAKE - BUILDING 'A'

SHEET INDEX:

- A1 FRONT ELEVATION AND RENDERINGS
- A2 FIRST FLOOR PLAN
- A3 FIRST AND SECOND FLOOR PLAN



BUILDING 'A' - FIRST FLOOR PLAN

SCALE 1/16" = 1'-0"

BUILDING 'A' INFORMATION:

FIRST FLOOR:
 APPROXIMATELY 22,000 SQUARE FEET
 (6) 1 BEDROOM / 1 BATH UNITS
 (4) 2 BEDROOM / 2 BATH UNITS
 TOTAL: (10) UNITS
 (11) INDOOR PARKING STALLS

SECOND FLOOR:
 APPROXIMATELY 22,000 SQUARE FEET
 (8) 1 BEDROOM / 1 BATH UNITS
 (10) 2 BEDROOM / 2 BATH UNITS
 TOTAL: (18) UNITS

THIRD FLOOR:
 APPROXIMATELY 22,000 SQUARE FEET
 (8) 1 BEDROOM / 1 BATH UNITS
 (10) 2 BEDROOM / 2 BATH UNITS
 TOTAL: (18) UNITS

BUILDING TOTAL:
 APPROXIMATELY 66,000 SQUARE FEET
 (22) 1 BEDROOM / 1 BATH UNITS
 (24) 2 BEDROOM / 2 BATH UNITS
 TOTAL: (46) UNITS
 (11) INDOOR PARKING STALLS

JIM
 MACKAY
 ARCHITECT

JIM MACKAY
 ARCHITECT

1723 LaFond Avenue
 St. Paul, MN 55104

Jim Mackay
 Office 651-644-0869

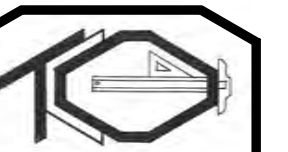
registration # 23018

Drafting by:
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todd@tco2design.net

Plan Date
 PRELIM. 3-9-23

BUFFALO LAKE PARTNERS
 FID# 10905000020 HOWARD LAKE



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 drafting and home design
 P.O. Box 41780
 Plymouth, MN 55442

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todd@tco2design.net

Design #
 tco202217

A2

A2 OF 3

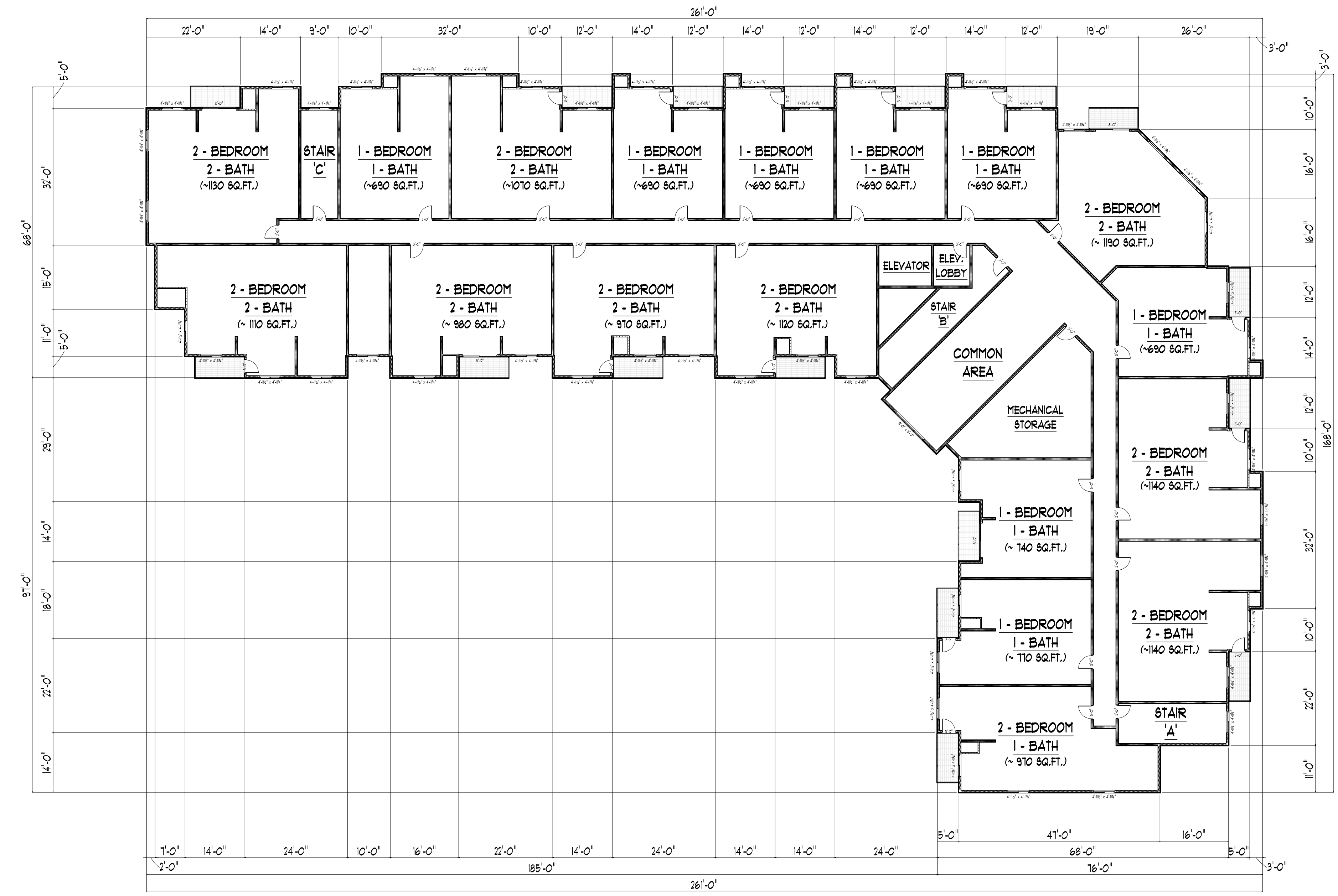
BUILDING 'A' INFORMATION:

FIRST FLOOR:
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(6) 1 BEDROOM / 1 BATH UNITS
(4) 2 BEDROOM / 2 BATH UNITS
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(17) INDOOR PARKING STALLS

SECOND FLOOR:
APPROXIMATELY 22,000 SQUARE FEET
(8) 1 BEDROOM / 1 BATH UNITS
(10) 2 BEDROOM / 2 BATH UNITS
TOTAL: (18) UNITS

THIRD FLOOR:
APPROXIMATELY 22,000 SQUARE FEET
(8) 1 BEDROOM / 1 BATH UNITS
(10) 2 BEDROOM / 2 BATH UNITS
TOTAL: (18) UNITS

BUILDING TOTAL:
APPROXIMATELY 66,000 SQUARE FEET
(22) 1 BEDROOM / 1 BATH UNITS
(24) 2 BEDROOM / 2 BATH UNITS
TOTAL: (46) UNITS
(17) INDOOR PARKING STALLS



BUILDING 'A' - SECOND AND THIRD FLOOR PLAN
SCALE 1/16" = 1'-0"

